

## REQUEST FOR HISTORIC AND SCENIC PRESERVATION COMMISSION ACTION

### V.A. JEFFREY GOULD, APPLICANT

**PUBLIC HEARING** to consider **Certificate of Appropriateness No. 686** – A request to construct a 277 square-foot main bedroom extension including a new walk-in closet and bathroom, a 46 square-foot utility room extension with a 72 square-foot remodel, a 32 square-foot solid covered porch, a 28 square-foot solid covered porch, and a 77 square-foot lattice covered porch. The project site is located at 420 South Eureka (APN: 0173-032-07-0000) in the Multiple-Family Residential (R-2) District and the Smiley Park Neighborhood Historic & Scenic District (Historic District No. 8).

HISTORIC AND SCENIC PRESERVATION MEETING: March 7, 2024

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Planner: Jazmin Serrato, Assistant Planner

Reviewed by: Brian Foote, City Planner/Planning Manager

#### PROCEDURE FOR PUBLIC HEARING

1. Chairperson declares the meeting open as a public hearing.
2. Chairperson calls upon staff for report.
3. Chairperson calls for questions/comments from members of the Commission.
4. Chairperson calls upon applicant, or its representative, for comments/testimony.
5. Chairperson calls for comments/questions/testimony from members of the public (3 minutes per speaker).
6. Chairperson calls upon the applicant, or representative, for rebuttal comments (5 minutes).
7. Chairperson closes the public hearing.
8. Commission considers the motion(s) and votes.

#### SYNOPSIS

1. Historic Designation: The subject property at 420 S. Eureka Street is not individually designated as a historic resource; however, it is within the Smiley Park Federal Historic District and the Smiley Park Neighborhood Historic & Scenic District (Historic District No. 8), designated by the City of Redlands.
2. Existing Land Use: Zoning: Multiple-Family Residential (R-2) District
3. General Plan: Medium Density Residential

4. Historic and Scenic Preservation Commission submittal dates:
  - (A) Date Submitted: November 22, 2023
  - (B) Date Accepted as Complete: February 9, 2024
  - (C) Historic and Scenic Preservation Commission Meeting: March 7, 2024
  
5. Attachments:
  - (A) Location Map & Aerial Photograph
  - (B) Site Plan and Floor Plan
  - (C) Elevations
  - (D) Proposed Materials
  - (E) Historic Inventory Sheet
  - (F) Resolution No. 2024-03

## **PROPOSAL**

The applicant, Jeffrey Gould, is proposing to construct the following improvements to the rear (west) side and interior side (south) side of the main dwelling at 420 S. Eureka Street (see Attachment A):

- 277 square-foot main bedroom extension to include walk-in closet and bathroom;
- 46 square-foot utility room extension with a 72 square-foot remodel;
- 32 square-foot solid covered porch;
- 28 square-foot solid covered porch; and,
- 77 square-foot lattice covered porch.

## **BACKGROUND**

The main building is a Craftsman style home and the Historic Inventory Sheet (see Attachment E) in 1978 indicates the subject property was estimated to be constructed in 1925. The following is the description from the Historic Inventory Sheet:

“1 story white; center gable; overlapping clapboard; open veranda wth square columns; no railing; on straight stairs; windows are single sash with plain molding and lugsills; 1 chimney; roof trim is plain boxed cornice-2 braces at corners of gable; end boards at corners; asphalt shingles on roof.”

The Historic Inventory Sheet also states, the structure does not individually represent historic Redlands, but collectively the homes within the Smiley Park District are excellent examples of late-19<sup>th</sup> to early-20<sup>th</sup> century lifestyles and architecture. There are no records on file for any minor or major certificates of appropriateness. The

building permits on file include a reroof in 1941 and 1949, pest control in 1950, a garden wall in 1972, and an HVAC replacement in 2005. Based on photographs provided by the applicant and the 1978 Historic Inventory Sheet, the main residence has maintained its architectural integrity.

**ANALYSIS**

**A) Zoning Standards**

The property is located within the Multiple-Family Residential (R-2) District of the Redlands Municipal Code. The scope of work for the property includes constructing a 277 square-foot main bedroom extension to include a new walk-in closet and bathroom, a 46 square-foot utility room extension, a 32 square-foot solid covered porch, a 28 square-foot solid covered porch, and a 77 square-foot lattice covered porch (see Attachment B). The proposed project meets all applicable development standards such as lot coverage, setbacks, building height, and complies with the underlying zoning district, as indicated in Table A.

Table A: Summary of Development Standards for the C-4 District

<i>Development Standard</i>	<i>Requirement</i>	<i>Proposed</i>	<i>Complies?</i>
Lot Area	8,000 sq. ft. min.	No change, 8,250 sq. ft.	Yes
Front (East) Setback	25' min.	No change, 25'.	Yes
Side (North) Setback	5' min.	No change, 8'.	Yes
Side (South) Setback	5' min.	5'	Yes
Rear (North) Setback	25' min.	70'	Yes
Lot Coverage	45% max.	25.7%	Yes
Building Height	2½ stories or 35' max.	No change, single-story	Yes

**B) Secretary of the Interior Standards and Guidelines & City of Redlands Historic and Scenic Preservation Design Manual**

The Secretary of Interior Standards suggests new additions and/or related new construction on historic properties should be compatible in terms of mass, materials, solids to voids, and color. Proposed additions should not result in the loss of the historic character of the resource or damage to character-defining features of the historic building. The new work shall be differentiated from the old, and the new work will be

undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Based on the City's Historic Design Manual, the predominant material used in Craftsman and Bungalow homes is typically wood shingle, wood clapboard, stone, brick, limestone, concrete stucco, glass, and concrete (page 4/3-3).

The main dwelling on the subject property is a Craftsman style home built around 1925, this style was popular during the Arts and Crafts movement at the turn of the 20<sup>th</sup> century. Craftsman style most common character-defining features include one to two-story height, low-pitched gabled roofs, shingled exteriors (occasionally clapboard), broad front-entry porches with square columns, and the use of natural materials for chimneys and columns. The applicant intends to maintain the architectural style by incorporating similar massing, size, scale and architectural features to the proposed additions.

*Summary:* Overall, the new additions and remodels will share similar styling elements to the main dwelling such as wood clapboard siding, center gable, wood trim, and asphalt shingles. The proposed material for the doors and windows (fiberglass and vinyl) are not consistent with the predominant materials for Craftsman style homes, such as wood. However, they will be painted a non-glossy color, and only one of the proposed windows will be visible from the public right-of-way (that window will have a treated pine wood frame painted dark green to conceal the material and match the existing style of the main dwelling).

Table B: Summary of Architectural Elements and Treatments

<i>Side of House</i>	<i>Siding</i>	<i>Windows</i>	<i>Doors</i>	<i>Roof / Patio</i>
East (front)	Wood	Vinyl w/ wood	--	Comp. Shingles (match)
North (alley)	Wood	--	--	Comp. Shingles (match)
West (rear)	Wood	Vinyl w/ wood	Fiberglass	Wood lattice
South (side)	Wood	Vinyl w/ wood	Fiberglass	--

*North (alley-side) Elevation:* At the side (north) elevation, 2 linear feet of the proposed utility room expansion and the new solid covered porch area will be visible; however, this portion is located at the rear of the main dwelling and will not be visible from the public right-of way. The existing single-hung window will be removed, and this portion of the façade will be sealed with matching wood clapboard siding (Kelleher Corporation Advantage Plus Prime Pine) in the "Ultra Antique White" BEHR paint color (see Attachment C & D). The proposed roof of the new expansion will also match the existing main dwelling with Highlander Vista Architectural Shingles in the color Silverwood by Malarkey Roofing Products (see Attachment D).

*East (front) Elevation:* On the front (east) elevation, 13 linear feet of the main bedroom extension will be visible from the public right-of-way from South Eureka Street. The new addition will match the façade of the existing main dwelling, the exterior siding will consist of matching wood clapboard painted to match the existing. Additionally, the trim of the addition, including corners and cornice, will consist of a wooden trim (Kelleher Corporation Advantage Plus Prime Pine) in a “Dark Everglades” BEHR paint color to match the existing dwelling. The new addition will have a sliding vinyl window by the Simonton Contractor Collection and framed by the previously mentioned wooden trim in the “Dark Everglades” BEHR paint color to match the style of the other windows on the front elevation and to conceal the vinyl material.

*South (interior side) Elevation:* One sliding window and one single-hung window located at the center of the existing façade, will be removed from the south (side) elevation. This area is where the main bedroom extension will occur, and windows will not be replaced (for privacy). The proposed façade will consist of the previously mentioned matching wood clapboard siding in the “Ultra Antique White” BEHR paint color. The trim will also consist of pine wood painted in a matching color to the rest of the existing dwelling. Additionally, a screen covered gable vent detail will be preserved to maintain the architectural details of the existing façade.

The proposed new lattice covered porch will also be visible from the southern elevation and will consist of treated pine wood in the color white. This area will include a 42” white guard rail with a solid concrete landing of steps leading to the open porch area. The new covered porch addition in front of the new utility room expansion will be visible from the south elevation. A side view of the new concrete steps with the previously mentioned white guard railing will be visible as well. The new entry for the utility room expansion will be relocated to the south side elevation and will consist of a Lite Clear Craftsman Fiberglass door in the color white by the Feather River Doors (see Attachment D) and will also have a pine wooden trim painted dark green to match the existing dwelling.

*West (rear) Elevation:* A new 42” guard rail will be added to the existing concrete steps at the northern (left) portion of the west elevation. This area will also gain a solid covered porch area of 32 square feet. The center portion of the west elevation currently contains solid concrete steps leading to the utility room entry; however, these steps will be relocated to the southern (right) portion of the west elevation and will lead to the new doorway entry on the south elevation, previously mentioned. The current double single-hung windows will be replaced with a picture vinyl window by the Simonton Contractor Collection and framed by the previously mentioned wooden trim in the dark green paint color to match the existing style and conceal the vinyl material. A screen covered gable vent detail will also be preserved on this elevation to maintain the architectural details of the existing façade.

The southern (right) portion of the west elevation will contain the 28 square-foot solid covered patio adjacent to the utility room and the 77 square-foot lattice covered patio adjacent to the main bedroom extension. The current single hung windows visible from the west elevation of the studio will be replaced by a new door entry leading to the covered patio area. The doorway will consist of a Lite Clear Craftsman Fiberglass door in the color white and will also have a pine wooden trim painted dark green to match the existing dwelling. Then, within the lattice covered area a new French glass style door provided within the Lite Clear Craftsman Fiberglass collection will be installed to provide entry access to the bedroom extension and provide sufficient lighting, this will also contain a dark green wooden trim.

*Conclusion:* The proposed design, with the incorporation of standard conditions of approval, will not adversely affect or change the context surrounding the subject property, including orientation of buildings, landscaping, parking, and relationship of the structure to its surroundings. The proposal may be determined to be consistent with the Secretary of Interior guidelines and City of Redlands Historic Design Manual for new construction.

## **ENVIRONMENTAL REVIEW**

In accordance with the provisions of the California Environmental Quality Act (CEQA), the project qualifies for a categorical exemption from environmental review pursuant to Section 15331 (Historic Resource Restoration/Rehabilitation), Section 15303 (New Construction or Conversion of Small Structures), and Section 15301 (Existing Facilities) of the California Environmental Quality Act Guidelines.

## **STAFF RECOMMENDATION**

Staff recommends that the Historic and Scenic Preservation Commission approve Certificate of Appropriateness No. 686, based on the facts presented in this staff report and subject to the recommended Conditions of Approval.

## **MOTION**

If the Historic and Scenic Preservation Commission deems it appropriate, staff recommends the following motion:

“I move that the Historic and Scenic Preservation Commission adopt Resolution No. 2024-03 and approve Certificate of Appropriateness No. 686, subject to the attached conditions of approval, and find that the project is exempt from environmental review pursuant to Sections 15301, 15303, and 15331 of the CEQA Guidelines.”

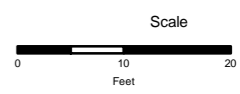
Attachment A -  
Location Map and Aerial  
Photograph



AERIAL

Attachment A - Location Map & Aerial Photograph  
Certificate of Appropriateness No. 686  
420 S. Eureka Street

This map was produced by the City of Redlands, Geographic Information System. The City of Redlands assumes no warranty or legal responsibility for the information contained on this map. The data used to generate this map is dynamic in nature, therefore the information shown may or may not be the most current.



February 22, 2024

OneStop.mxd



Attachment B -  
Site Plan and Floor Plan

**CITY OF REDLANDS STANDARD CONSTRUCTION NOTES:**

BUSINESS LICENSE REQUIREMENT FOR ARCHITECTS, ENGINEERS, CONTRACTORS AND SUB-CONTRACTORS PER CITY OF REDLANDS ORDINANCE: 504-090-BUSINESS LICENSE REQUIREMENT

IT IS UNLAWFUL FOR ANY PERSON, OR ANY BODY CORPORATE, OR AS AN OFFICER OF ANY CORPORATION, OR OTHERWISE TO COMMENCE OR CARRY ON ANY LAWFUL BUSINESS, TRADE, CALLING, PROFESSION OR OCCUPATION IN THE CITY WITHOUT FIRST HAVING PROCURED A LICENSE FROM THIS CITY TO DO OR WITHOUT COMPLYING WITH ANY AND ALL REGULATIONS OF SUCH TRADE, CALLING, PROFESSION OR OCCUPATION CONTAINED IN THIS CHAPTER AND CHAPTER 5.08 OF THIS TITLE. (REDLANDS MUNICIPAL CODE 504-090)

NEW CONSTRUCTION SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF THE 2016 CALIFORNIA BUILDING CODE EDITIONS THAT INCLUDE THE BUILDING, FIRE, PLUMBING, MECHANICAL, ELECTRICAL, GREEN BUILDING STANDARDS AND 2006 ENERGY COMMISSION SERIES IN CASES WHERE CODES MAY CONFLICT WITH THE PROVISIONS IN THESE PLANS OR SPECIFICATIONS. THE MORE RESTRICTIVE PROVISIONS SHALL GOVERN. CALL FOR ALL REQUIRED INSPECTIONS PRIOR TO CONCEALING WORK.

ANYONE WHO IS INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH ALL APPLICABLE BEST MANAGEMENT PRACTICES (BMP) TO CONTAIN OR PREVENT ANY ILLEGAL DISCHARGE OR STORM-WATER POLLUTION WITHIN THE PROJECT BOUNDARY UNTIL THE PROJECT IS COMPLETED BY THE PUBLIC WORKS INSPECTOR OF THE CITY.

RECYCLING OF CONSTRUCTION AND DEMOLITION DEBRIS IS REQUIRED AS MANDATED BY AB 939 AND SB 1066 AND AS AMENDED BY CITY OF REDLANDS MUNICIPAL CODE.

CONSTRUCTION ACTIVITY NOISE SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 6:00 PM MONDAY THROUGH SATURDAY. RMD 806-090 (F)

EVERY PERMIT ISSUED UNDER THE PROVISIONS OF THESE PLANS SHALL EXPIRE BY LIMITATION AND BECOME NULL AND VOID IF THE BUILDING OR WORK AUTHORIZED BY SUCH PERMIT IS NOT COMMENCED WITHIN 180 DAYS FROM THE DATE OF SUCH PERMIT, OR IF THE BUILDING OR WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 OR MORE DAYS AFTER WORK HAS COMMENCED.

THE CHIEF BUILDING OFFICIAL MAY EXTEND THE TIME FOR COMMENCEMENT OF THE WORK FOR A PERIOD NOT EXCEEDING 180 DAYS UPON WRITTEN REQUEST BY THE PERMITTEE PROVIDING EVIDENCE OF THE CIRCUMSTANCES BEYOND THE CONTROL OF THE PERMITTEE WHICH HAVE PREVENTED WORK FROM COMMENCING.

IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO SHOW EVIDENCE OF "START OF CONSTRUCTION" BY ARRANGING FOR BUILDING INSPECTIONS WITHIN 180 DAYS AFTER ISSUANCE OF PERMIT AND TO VERIFY NON-SUSPENSION OR ABANDONMENT OF WORK BY ARRANGING FOR BUILDING INSPECTIONS WHICH WILL SHOW THE WORK IS PROGRESSING WITHIN ANY 180 DAY TIME PERIOD.

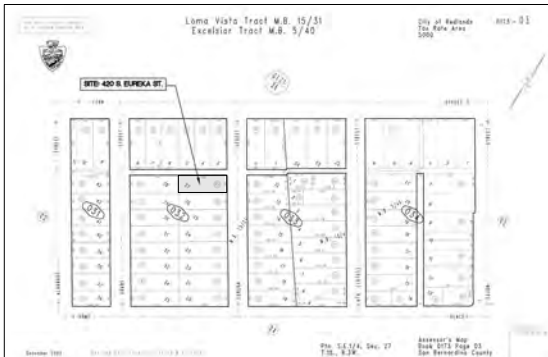
**STORM WATER QUALITY NOTES (NPDPS & BMP'S)**

NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S

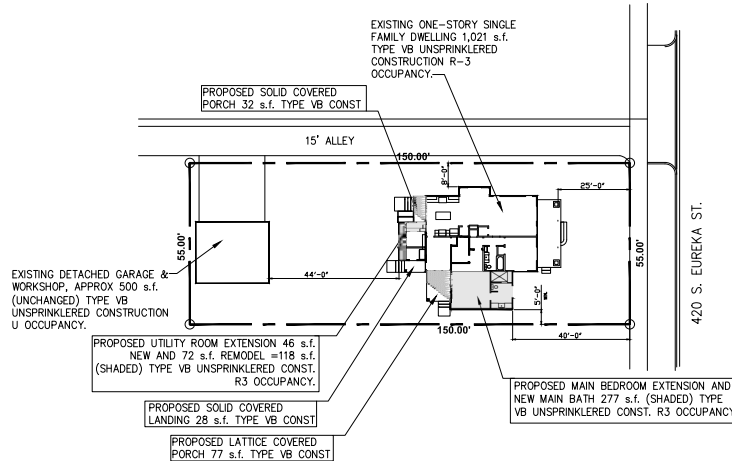
1. SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREETS OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORKDAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
2. ALL STOCKPILES OF UNCOMPACTED SOIL AND/ OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROL'S. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
4. ALL EROSION/ SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

**SITE DRAINAGE AND GRADING NOTES**

Contractor is responsible for maintaining grading and drainage as required by the California Building Code in appendix J. The issuance of this permit is based on the City's review of the applicant provided plans depicting existing and proposed landscape and hardscape conditions along with other facilities which could impact site drainage and grading. In the event a site visit for the permitted work clearly reveals yard features noted above but not shown on the applicant's site plan for the permitted work, the City may issue a Stop Work Notice and require a revised site plan showing the grading and drainage pattern for the property as it applies to the revised site plan. The revised plan will be reviewed by the Engineering Division for compliance with individual lot grading and drainage requirements.



**PARCEL/ VICINITY MAP**  
SCALE: NONE



**SITE PLAN**

SCALE: 1/20" = 1'-0"



**PROJECT PARTICULARS**

OWNER: GOULD  
 ADDRESS: 420 S. EUREKAA ST.  
 REDLANDS, CA  
 APN 0173-032-07-0000  
 ZONE : R-2  
 OCCUPANCY: R3/ U  
 CONSTRUCTION TYPE: VB/ UNSPRINKLERED

LOT COVERAGE: LOT AREA: 55'x150' =	8,250 s.f.
EXIST HOUSE:	1,021 s.f.
EXIST UTILITY ROOM:	72 s.f.
EXIST FRONT PORCH:	150 s.f.
EXIST DETACHED GARAGE:	500 s.f.
PROP ROOM EXTENSIONS:	323 s.f.
PROP COVERED PORCHES:	109 s.f.
TOTAL COVERAGE OF STRUCTURES:	2,175 s.f.
TOTAL % LOT COVERAGE = 2,175 / 8,250 =	26.4%

**PROJECT DESCRIPTION:**

PROPOSED EXTEND EXISTING MASTER BEDROOM AND UTILITY ROOM.  
 ADD MASTER BATH AND COVER OVER EXISTING REAR PORCH.  
 ADD NEW LATTICE COVERED PORCH.

**BUILDING CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES:**

- GENERAL BUILDING PER 2019 CBC (California Building Code)
- 2019 CRC (California Residential Code)
- MECHANICAL/ PLUMBING EQUIPMENT PER 2019 CPC (California Plumbing Code)
- HEATING PER 2019 CMC (California Mechanical Code)
- ELECTRICAL PER 2019 CEC (California Electrical Code)
- 2019 CALGREEN MANDATORY MEASURES CHECKLIST
- ENERGY 2019 TITLE 24-6 MINIMUM STANDARDS (California Energy Code)

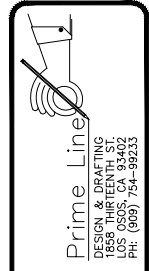
PLAN PREPARED BY PRIME LINE DESIGN & DRAFTING

*from U. [Signature]*

**SHEET INDEX**

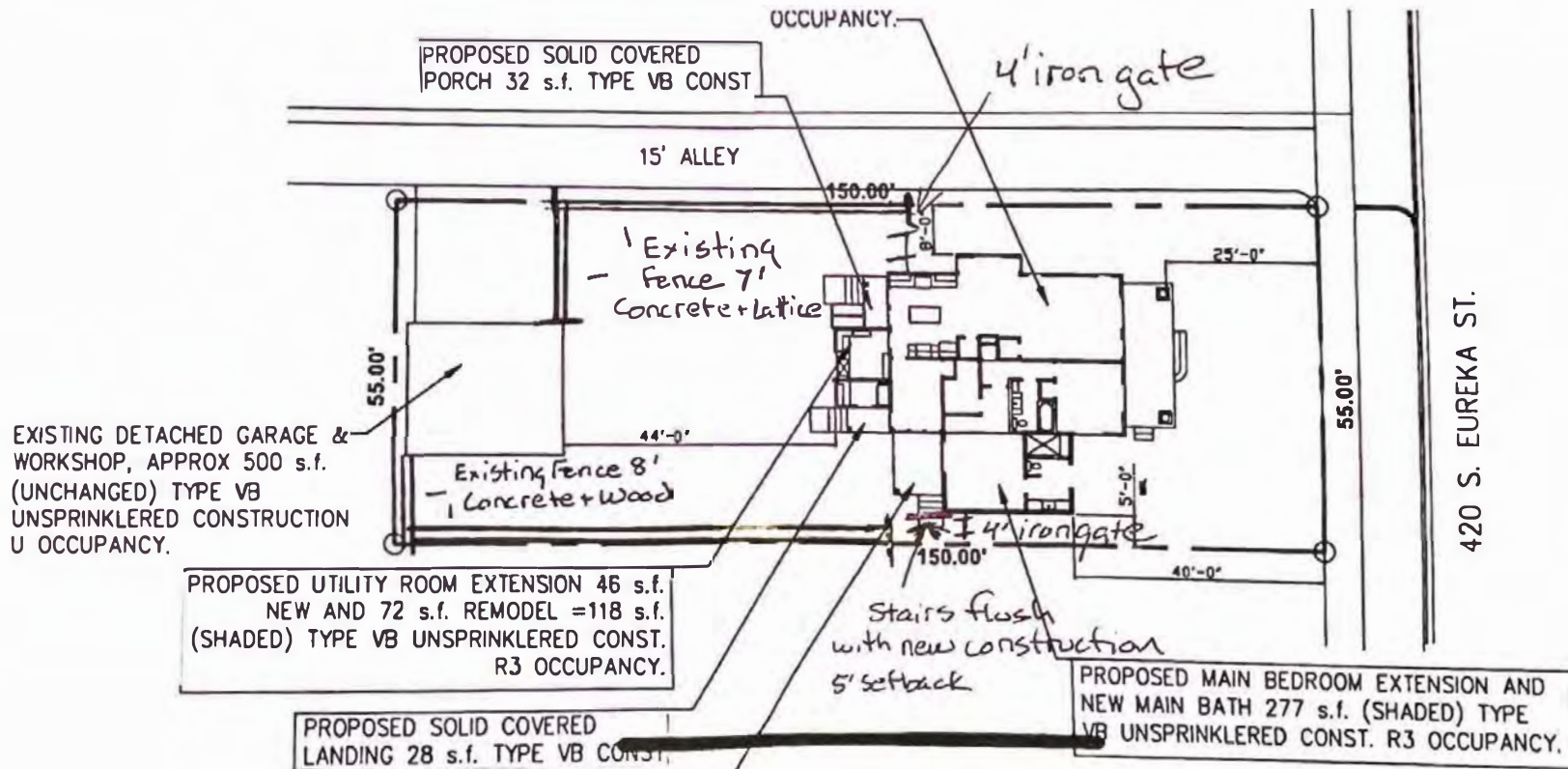
1	SITE PLAN
2	EXISTING FLOOR PLAN PROPOSED FLOOR PLAN
3	ROOF PLAN
4	EXTERIOR ELEVATIONS
5	INTERIOR ELEVATIONS
6	STRUCTURAL PLANS CROSS SECTIONS
7	
SD1	STRUCTURAL DETAILS
N1	GENERAL NOTES
N2	CAL GREEN MANDATORY MEASURES CHECKLIST CAL ENERGY MANDATORY MEASURES SUMMARY
N3	CF1R-ADD-02-E

REVISIONS	BY




THIS SHEET:  
 SITE PLAN  
 PROPOSED ROOM ADDITION & REMODEL  
**GOULD RESIDENCE**  
 420 S. EUREKAA ST.  
 REDLANDS, CA 92373  
 PH: (626) 840-1454 (C)

DRAWN	
CHECKED	DATE
	04/24/2022
	SCALE
	JOB NO.
	SHEET
	1
	OF SHEETS



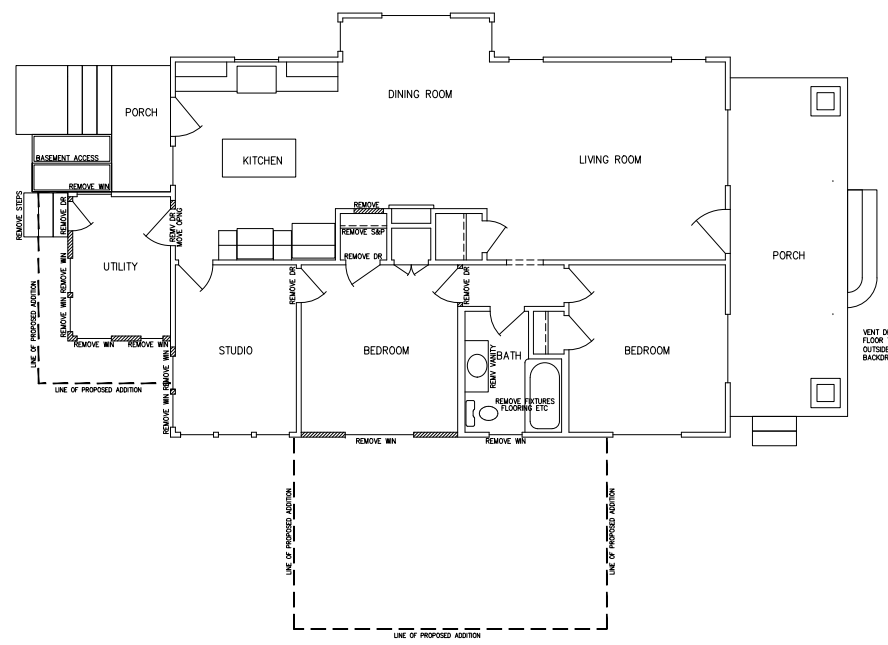
REVISIONS	BY

  
**Prime Line**  
 DESIGN & DRAFTING  
 LOS ANGELES, CA 90002  
 PH: (805) 754-9923

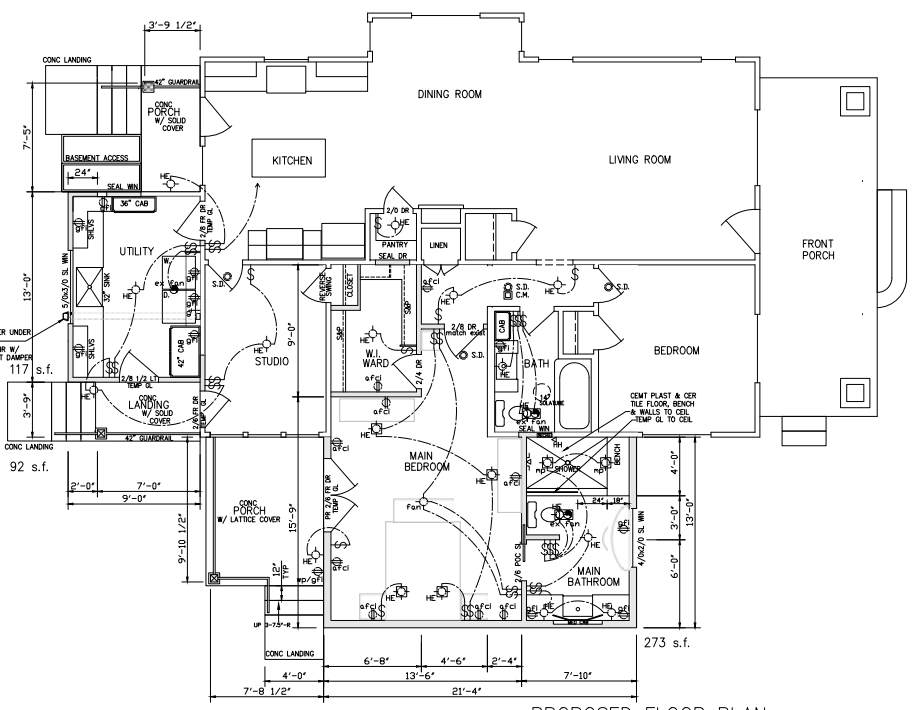
THIS SHEET:  
 EXISTING FLOOR PLAN  
 PROPOSED FLOOR PLAN

PROPOSED ROOM ADDITION & REMODEL  
**GOULD RESIDENCE**  
 420 S. EUREKA ST.  
 REDLANDS, CA 92373  
 PH: (626) 840-1454 (C)

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CHECKED	DATE
	05/24/2022
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	OF SHEETS



**EXISTING FLOOR PLAN**  
 DEMO. PLAN SCALE : 1/4" = 1'-0"  
 1,021 s.f. LIVING AREA



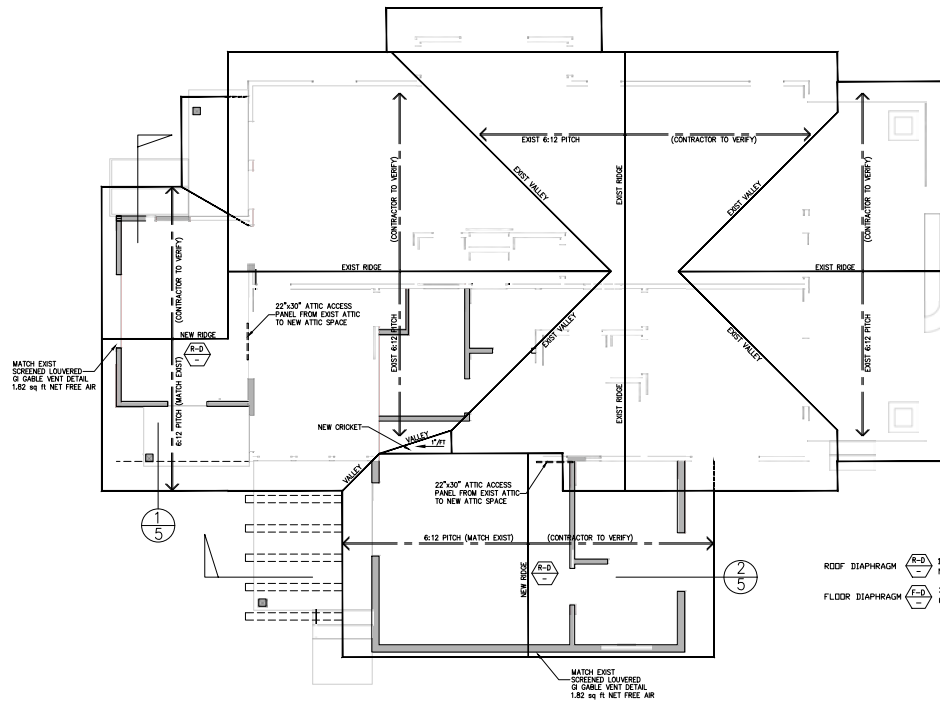
**PROPOSED FLOOR PLAN**  
 SCALE : 1/4" = 1'-0"  
 1,021 s.f. EXIST LIVING AREA  
 390 s.f. ADDED LIVING AREA  
 1,411 s.f. PROP LIVING AREA

2019 ENERGY STANDARDS FOR LIGHTING	
KITCHEN	HIGH-EFFICACY AND MANUAL-ON VACANCY SENSOR
BATHROOM	HIGH-EFFICACY AND MANUAL-ON VACANCY SENSOR
GARAGE	HIGH-EFFICACY AND MANUAL-ON VACANCY SENSOR
LAUNDRY ROOM	HIGH-EFFICACY AND MANUAL-ON VACANCY SENSOR
UTILITY ROOM	HIGH-EFFICACY AND MANUAL-ON VACANCY SENSOR
ALL OTHER INTERIOR ROOMS (E.G. LIVING ROOM, DINING ROOM, BEDROOMS, HALLWAYS) EXCEPT CLOSETS LESS THAN 70 S.F.	HIGH-EFFICACY AND MANUAL-ON VACANCY SENSOR DR DIMMER
OUTDOOR LIGHTING ATTACHED TO BUILDINGS	HIGH-EFFICACY AND MANUAL-ON VACANCY SENSOR & PHOTOCONTROL
COMMON AREAS OF LOW-RISE RESIDENTIAL BUILDINGS WITH 4 DR MORE UNITS	HIGH-EFFICACY AND VACANCY SENSOR
RESIDENTIAL PARKING LOTS AND GARAGES FOR 8 DR MORE VEHICLES	MUST MEET NON-RESIDENTIAL LIGHTING STANDARDS
ALL NEW LUMINARIES SHALL BE PIN BASED HIGH-EFFICACY	

ELECTRICAL SYMBOLS	
	SINGLE POLE SWITCH
	DIMMER SWITCH
	AIR SWITCH
	SURFACE MTD. INCANDESCENT LIGHT
	SURFACE MTD. HIGH EFFICACY FLUORESCENT/LED LIGHT
	SURFACE MTD. PENDANT LIGHT
	SURFACE MTD. CEILING FAN
	RECESS MTD. HIGH EFFICACY FLUORESCENT/LED LIGHT
	RECESS MTD. LIGHT
	MOISTURE PROOF LIGHT
	CDBR 90 CFM EXHAUST FAN W/ HUMIDISTAT AND HIGH EFFICACY FLUORESCENT LIGHT FAN AND LIGHT SWITCHES SEPARATELY
	50 CFM (MID) DELTA BREEZE SLM50
	UNDER COUNTER LED STRIP LIGHTING
	115V WALL RECEPTACLE (TAMPER RESISTANT)
	115V WALL RECEPTACLE (UNDER COUNTER)
	115V GROUND FAULT CIRCUIT INTERRUPTER
	WEATHER PROOF 115V GROUND FAULT CIRCUIT INTERRUPTER (TAMPER RESISTANT)
	115V ARC FAULT CIRCUIT INTERRUPTER (TAMPER RESISTANT)
	220V DISCONNECT FOR A/C COND. WEATHERPROOF HOUSING
	CABLE TV
	PHONE JACK
	2-ZONE SETBACK THERMOSTAT PER SYSTEM MANUFACTURER
	SMOKE DETECTOR HARD WIRED, INTERCONNECTED W/ BATTERY BACKUP, BATTERY OP. IN EXIST. AREAS
	CARBON MONOXIDE DETECTOR HARD WIRED, INTERCONNECTED W/ BATTERY BACKUP, BATTERY OP. IN EXIST. AREAS

**ELECTRICAL NOTES**  
 ALL NEW PERMANENT LIGHTING SHALL COMPLY WITH THE MANDATORY MEASURES LISTED ON FORMS MF-1R.  
 ADD CARBON MONOXIDE DETECTOR IN CELL  
 ALL HALLWAYS LEADING TO SLEEPING ROOMS  
 All outlets & circuits shall be protected by an Arc-fault circuit interrupter (AFCI) listed to provide protection of the entire branch circuit.  
 RECEPTACLE FACEPLATES SHALL BE INSTALLED SO AS TO COMPLETELY COVER THE OPENING AND SEAT AGAINST THE MOUNTING SURFACE.  
 NEW ELECTRICAL OUTLETS SHALL BE TAMPER RESISTANT.  
 A hard-wired and interconnected smoke detector (with battery back up) shall be installed in each bedroom and shall be centrally located in the corridor or area giving access to each sleeping area. A detector shall be located at each story and basement, on the upper level of split stories and both levels if sleeping area is on the lower level; a detector shall be located in close proximity to the stairway when sleeping rooms are on the upper level. Where the ceiling height of a room open to the hallway serving the bedrooms exceeds that of the hallway by 24" or more, detectors shall be installed in the hallway and near the high point of the adjoining room. Battery operated smoke detectors are permitted in existing construction.  
 Smoke detectors shall sound an alarm in all areas of building or be interconnected.  
 Carbon monoxide alarms shall be provided in existing dwellings or sleeping units that have attached garages or fuel-burning appliances. Such alarms shall be located outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s).  
 Carbon monoxide alarms shall be hard-wired and interconnected (with battery back up) Battery alarms are permitted in existing dwelling units where no construction is taking place.  
 ALL 120V BRANCH CIRCUITS SUPPLYING OUTLETS IN LAUNDRY ROOM, CLOSETS, HALLWAYS, KITCHEN, BEDROOMS AND OTHER HABITABLE ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI).  
 BATHROOM RECEPTABLES SHALL BE SERVED BY A DEDICATED 20 AMP CIRCUIT.

PLAN PREPARED BY PRIME LINE DESIGN & DRAFTING  
 FROM M. [Signature]



ROOFING: 6:12 ROOF PITCH TYP. (MATCH EXIST) CONTRACTOR TO VERIFY  
 CLASS B MIN. CMP SHINGLE ROOF (MATCH EXIST)  
 OVER 1- LAYER 30# ROOFING FELT OVER 1/2" O.S.B. INDEX 24/0  
 RADIANT BARRIER ROOF SHEATHING  
 NAIL 8-d NAILS @ 6" O.C. E.N., 6" O.C. B.N., 12" O.C. F.N.  
 ROOFING: 1:12 ROOF PITCH TYP. AT CRICKET  
 MULTI-PLY TORCH-DOWN ROOFING OVER 1/2" OSB  
 GAF TRI-PLY APP TORCH-DOWN GRANULE CAP SHEET OVER  
 GAF TRI-PLY #75 NAUL APPLIED BASE SHEET

ROOF COVERING ASSEMBLIES SHALL BE AN ICC-ESR OR UL LISTED CLASS C MINIMUM FIRE RESISTIVE ROOF ASSEMBLY COMPLYING WITH ASTM E108 OR UL 790 AND ROOF SHEATHING, UNDERLAYMENT AND ATTACHMENT SHALL BE ADEQUATE TO WITHSTAND 85 MPH WIND LOADS.  
 ROOF CONSTRUCTION ASSEMBLY SHALL COMPLY WITH CBC SEC. 902.1

ROOF DIAPHRAGM 1/2" O.S.B. INDEX 24/0 RADIANT BARRIER ROOF SHEATHING  
 NAIL 8-d NAILS @ 6" O.C. E.N., 6" O.C. B.N., 12" O.C. F.N.  
 FLOOR DIAPHRAGM 3/4" OSB STURDIFLOOR T&G SUBFLOOR INDEX 32/16  
 GLUE AND SCREW  
 7/ 110x2" SCREWS @ 6" O.C. E.N., 10" O.C. F.N.

PROPOSED ROOF PLAN  
 SCALE : 1/4" = 1'-0"

REVISIONS	BY

**Prime Line**  
 DESIGN & DRAFTING  
 1000 W. 10TH ST., SUITE 100  
 LOS ANGELES, CA 90002  
 PH: (805) 754-9923

THIS SHEET:  
 ROOF PLAN

PROPOSED ROOM ADDITION & REMODEL  
**GOULD RESIDENCE**  
 420 S. EUREKA ST.  
 REDLANDS, CA 92373  
 PH: (626) 840-1454 (C)

DRAWN
CHECKED
DATE 05/24/2022
SCALE
JOB NO.
SHEET 3
OF SHEETS

PLAN PREPARED BY PRIME LINE DESIGN & DRAFTING  
*From M. [Signature]*

Attachment C -

Elevations

Existing South Side

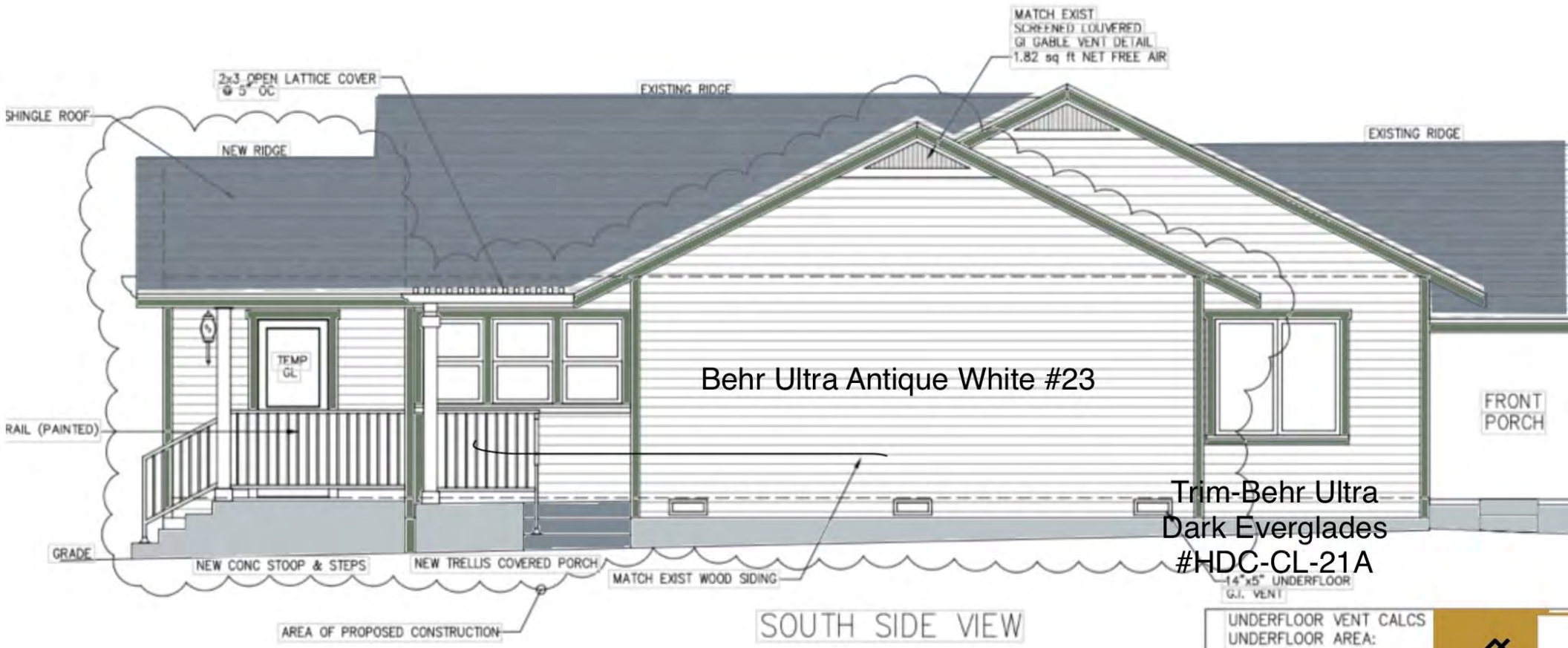


Existing South Side





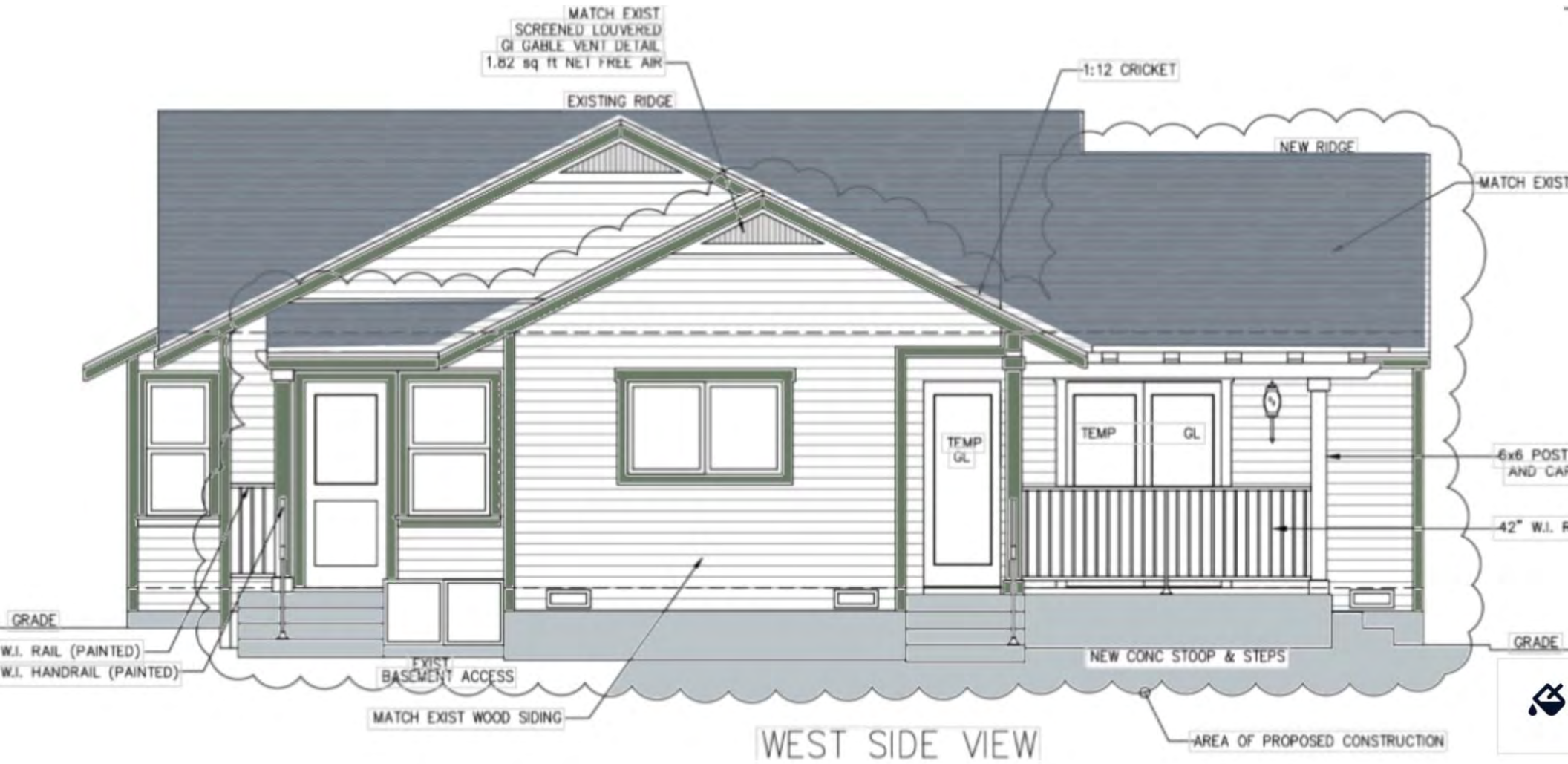
# Proposed South Side - Bedroom Extension



Existing West Side



# Proposed West Side



Existing North Side



Existing North Side



# Proposed North Side



Existing East Side

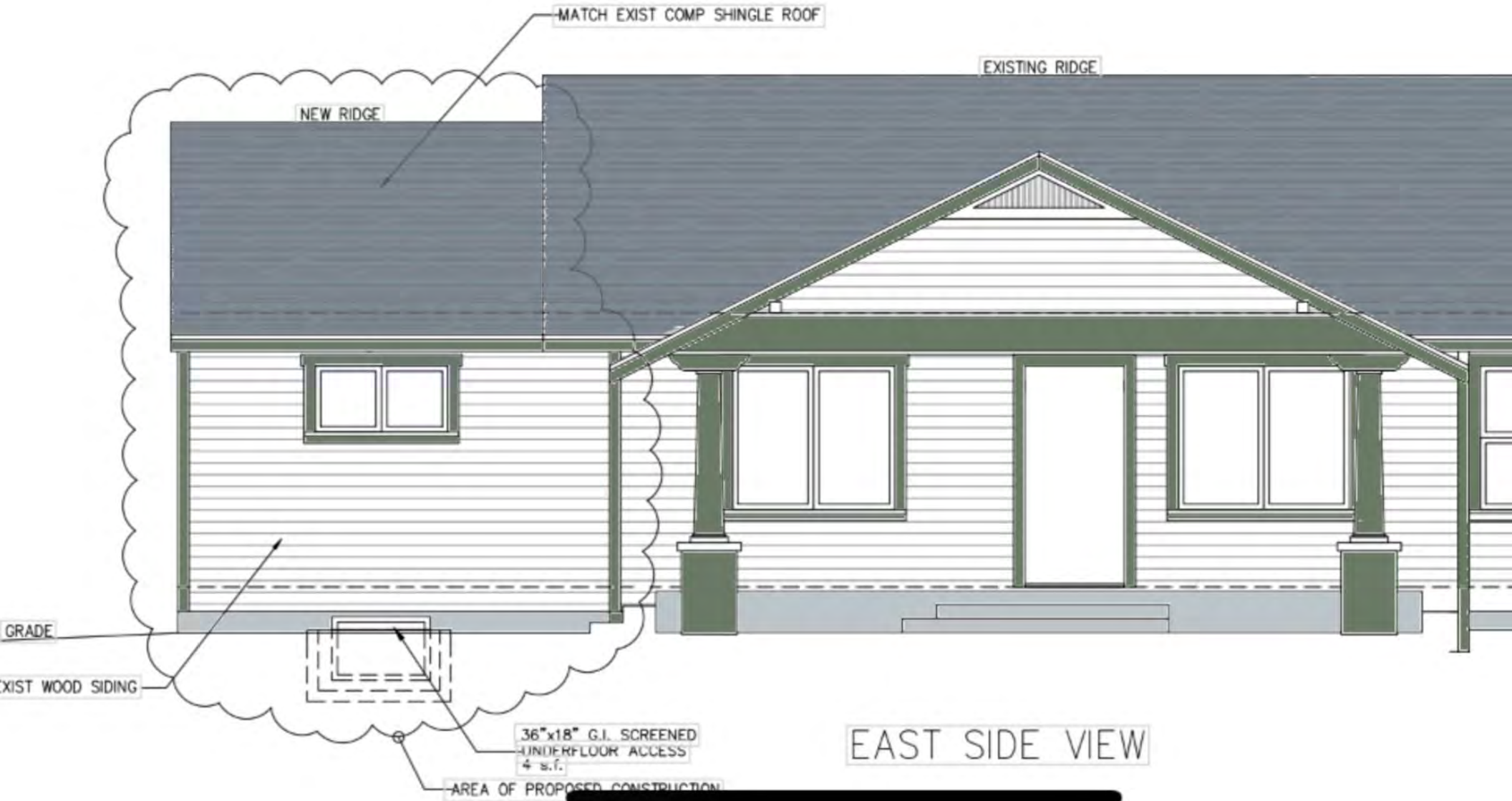


Existing East Side - View from South Eureka Street





# Proposed East Side - View from South Eureka Street



Attachment D -  
Proposed Materials



**QUICK SPECS**

Impact Rating	Class 3
Shingle Warranty*	Limited Lifetime
Non-Prorated Period	10 Years
Limited Wind Warranty	110 MPH
Enhanced Wind Warranty	130 MPH

Shown in Silverwood



**Sustainable Performance™**

*Superior Performance & Better for the Environment*

**CRAFTSMANSHIP**

- Up to 2x Larger Nailing Area
- Up to 50% More Adhesive Bonds
- 2x Rain Seals

**PERFORMANCE**

- Up to 10% Greater Tear Strength
- Up to 65% Greater Granule Adhesion
- Class 3 Impact Rating

**CIRCULAR SUSTAINABILITY  
[PER ROOF]**

- Upcycles ~4 Rubber Tires
- Upcycles ~2,900 Plastic Bags
- Cleans Smog Pollution like ~2 Trees

# Highlander®

**Architectural Shingles – Aging and Impact Resistant**

Highlander® shingles are made with our patented **NEX® Polymer Modified [SBS Rubberized] Asphalt**, an innovative technology that infuses rubber and plastic polymers to strengthen the asphalt core of the shingle for superior impact resistance, granule adhesion, all-weather resilience, and aging longevity.

**Highlander® shingles are also sustainable.** Upcycled polymers from used tires and plastic bags improve durability and aging resistance, while helping reduce landfill waste. And smog-reducing granules help clean the air of emission pollutants, like planting trees on your roof.

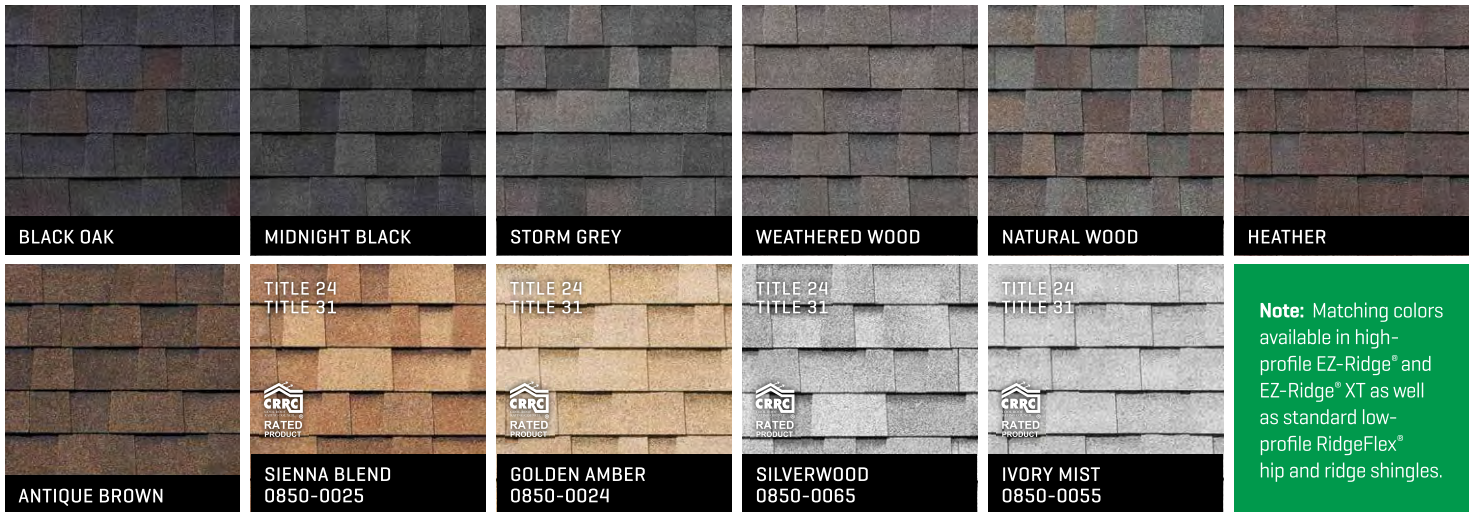
*Sustainability without sacrificing performance.*

**BEST IN CLASS**

Malarkey's Highlander® shingles are *Best In Class* – made with the **industry's leading technology** [NEX® SBS rubberized asphalt], **second-highest impact rating** [Class 3], **strongest sustainability** [aging longevity, upcycled rubber & plastic, smog-reducing granules], and **superior warranty protection** for peace of mind.

## Color Options

See shingle colors on a roof, or your roof, at [www.malarkeyroofing.com/roof-designer](http://www.malarkeyroofing.com/roof-designer).



## Performance Engineered, Sustainably Designed

### NEX® RUBBERIZED ASPHALT

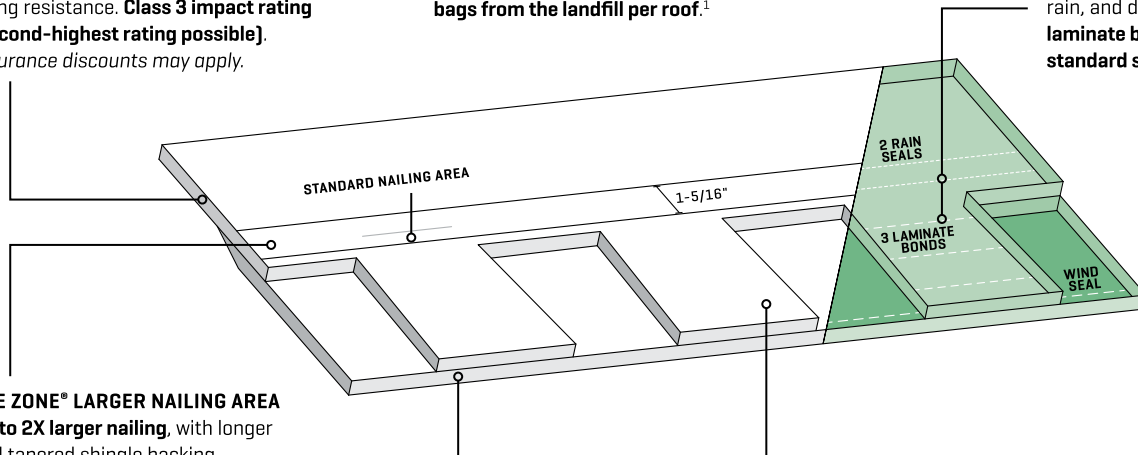
Asphalt core of shingle is rubberized with virgin synthetic rubber polymers (SBS) to enhance shingle strength, flexibility, and aging resistance. **Class 3 impact rating [second-highest rating possible].** Insurance discounts may apply.

### UPCYCLED RUBBER & PLASTIC

Polymers from recycled rubber and plastic improve shingle durability and aging resistance, while **diverting the equivalent of ~4 rubber tires and ~2,900 plastic bags from the landfill per roof.**<sup>1</sup>

### ADHESIVE BONDS

Synthetic rubber adhesive (SEBS) resists dry-out and delivers extreme seal-down strength against high winds, wind-driven rain, and delamination. **Up to 50% more laminate bonds and 2X the rain seals of standard shingles.**



### THE ZONE® LARGER NAILING AREA

**Up to 2X larger nailing**, with longer and tapered shingle backing, dramatically improves installation accuracy, helps ensure nails secure BOTH shingle layers to help prevent blowoffs, and reduces the risk of leaks from troughing. **Up to 130 MPH wind warranty.**

### FIBERGLASS MAT

Provides structural reinforcement, and combined with polymer modified asphalt, **up to 10% greater tear strength than the industry standard (ASTM D3462).**

### 3M™ ROOFING GRANULES

Deeply embedded, ceramic-coated granules protect shingle from weather and UV aging. **Up to 65% greater granule adhesion than the industry standard (ASTM D3462).**

### 3M™ SMOG-REDUCING GRANULES

Clean the air of emission pollutants. **Each roof has the smog-fighting potential of ~2 trees.**<sup>2</sup>

**Malarkey Industry Firsts**



<sup>1</sup> Assumes roof of 30 squares.

<sup>2</sup> Assumes roof of 30 squares. Source: Lawrence Berkeley National Laboratory and 3M.

**Test Compliance** – ASTM D7158 Class H, ASTM D3462, ASTM D3161 Class F, ASTM D3018 Type I, ASTM E108 Class A Fire Rating, UL 2218 Class 3, CSA A123.5, ICC Approval – ESR-3150, and ICC-ES AC438. CRRC-rated colors can be used to comply with California Energy Code (CEC) Title 24, Part 6 Cool Roof Requirements (Highlander® Golden Amber, Ivory Mist, Sienna Blend, and Silverwood only). Highlander® Golden Amber, Ivory Mist, Sienna Blend, and Silverwood shingles can also be used to comply with Los Angeles County, California Title 31 Cool Roof Requirements.

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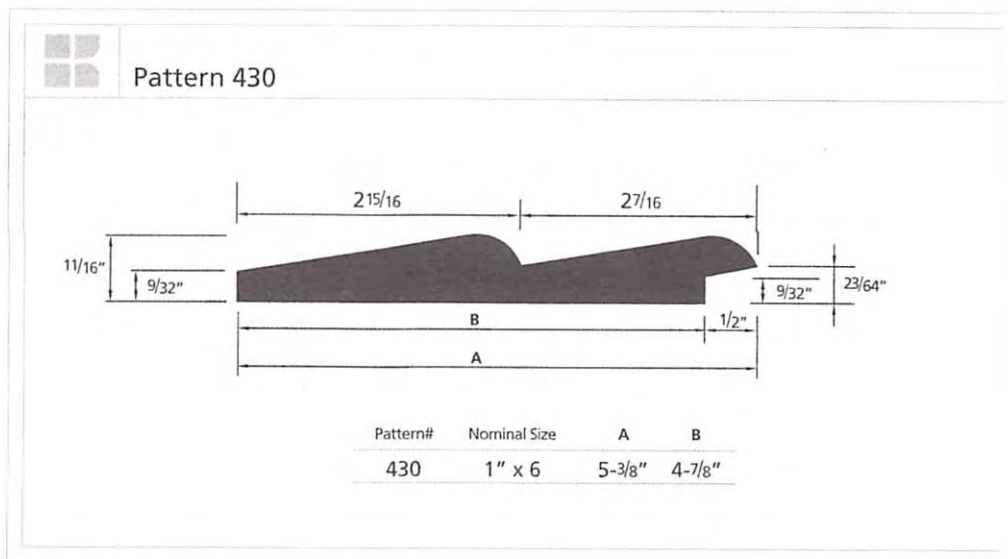
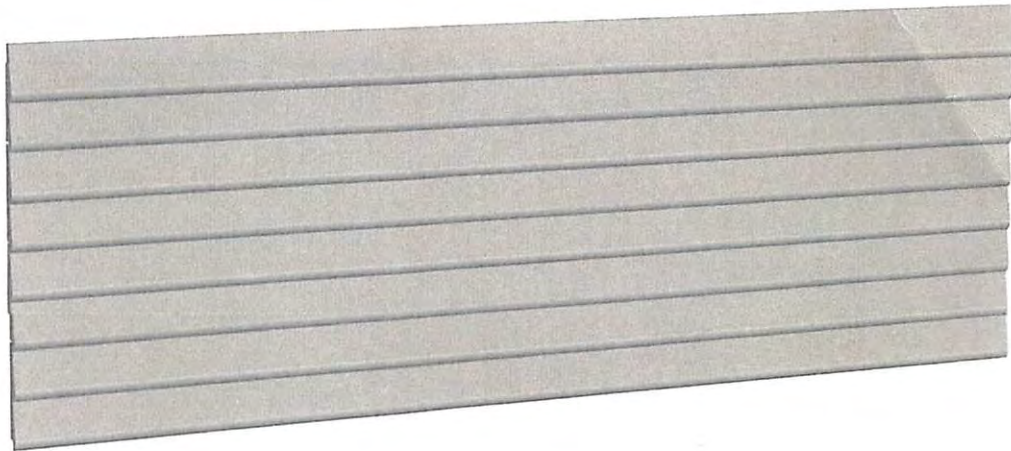
This version supersedes all previous versions. Rev. 11/23

[www.malarkeyroofing.com](http://www.malarkeyroofing.com)  
800-545-1191  
Made in South Gate, CA



GOULD  
EXTERIOR SIDING

2 Lap Siding



Size	Pattern	SOLID AVG CEDAR	LOSP TREATED PRIMED	UNTREATED PRIMED	
					
1 x 6	#430	R/L: 8'-20'	16' 20'	16' 20'	16' 20'
		N/A	2043224 2043226	7043224* 7043226*	N/A N/A

\*Item stocked in Northern California - 2 week lead time

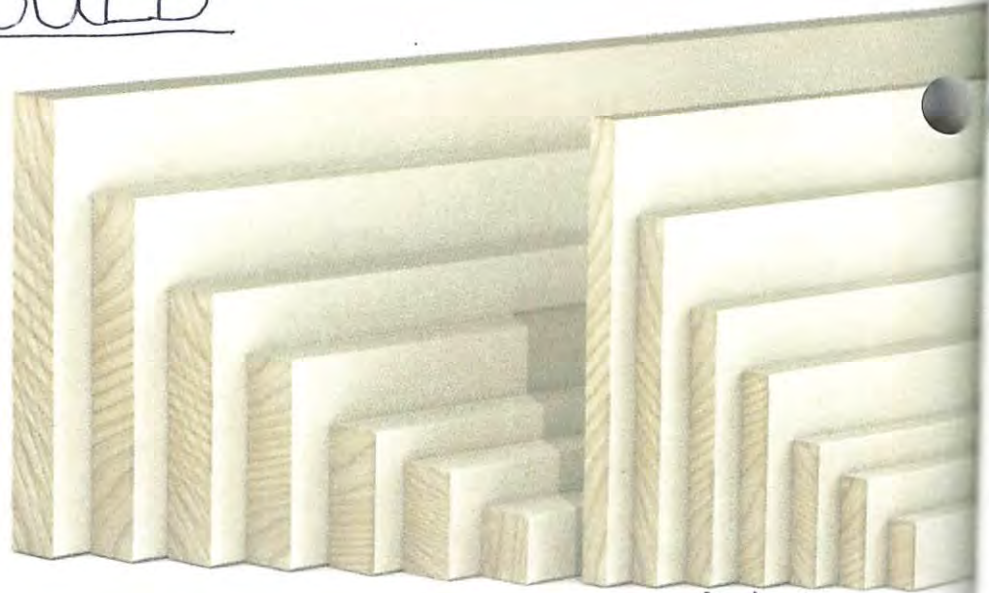
GOULD  
EXTERIOR  
SIDING



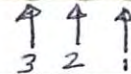
GOULD

**Primed Boards**





Primed boards are S3S (surfaced three sides) and E2E (eased two edges) for a superb look. Use for general trim, Fascia, and most above ground and non-structural applications. Finish with two coats of quality 100% acrylic paint. Available in Kelleher Advantage Plus with 30 year warranty, Kelleher Advantage primed, and Western Red Cedar.



*EXTERIOR HOUSE TRIM, WINDOWS, DOORS, CORNERS, AND CORNICE.*



1  
2  
3

Size	SOLID AVG CEDAR	LOSP TREATED PRIMED		UNTREATED PRIMED			
	 R/L: 8'-20'	 TREATED PRIMED PINE		 AVG FINGERJOINT		 PRIMED PINE	
		16'	20'	16'	20'	16'	20'
1 x 2 1 1/2"	140110*	2037416	2037418	7037416*	7037418*	037416	N/A
1 x 3 2 1/2"	140120*	2039348	2039350	N/A	7039350*	039348	039350
1 x 4	<del>140130*</del>	2040433	2040434	7040433*	7040434*	040433	040434
1 x 6	<del>140140*</del>	2043522	2043523	7043522*	7043523*	043522	043523
1 x 8 7 1/4"	140150*	2046785	2046786	7046785*	7046786*	046785	046786
1 x 10	140160*	2050049	2050050	7050049*	7050050*	050049	050050
1 x 12	140170*	2053115	2053116	7053115*	7053116*	053115	053116
5/4 x 4	N/A	2067450	2067454	7067450*	7067454*	N/A	N/A
5/4 x 6	N/A	2067451	2067455	7067451*	7067455*	N/A	N/A
5/4 x 8	N/A	2067452	2067456	N/A	N/A	N/A	N/A
2 x 2	140220*	2073350	N/A	N/A	7073351*	073350	N/A
2 x 4	140230*	2073355	2073356	7073355*	7073356*	073355	073356
2 x 6	140240*	2076335	2076336	7076335*	7076336*	076335	076336
2 x 8	140250*	2079336	2079337	7079336*	7079337*	079336	079337
2 x 10	140260*	2082347	2082348	7082347*	7082348*	082347	082348
2 x 12 1 1/4"	140270*	2085295	2085296	7085295*	7085296*	085295	085296

\*Item stocked in Northern California - 2 week lead time



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Non-Prorated Period	10 Years
Limited Wind Warranty	110 MPH
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Shown in Silverwood



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*Sustainability without sacrificing performance.*

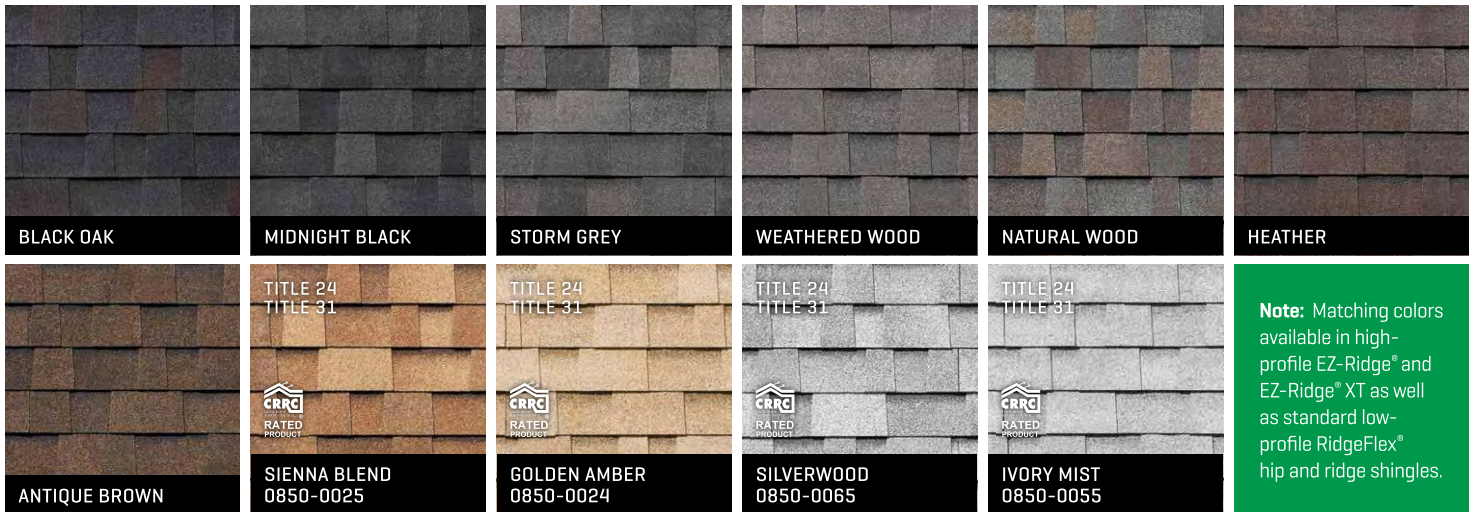
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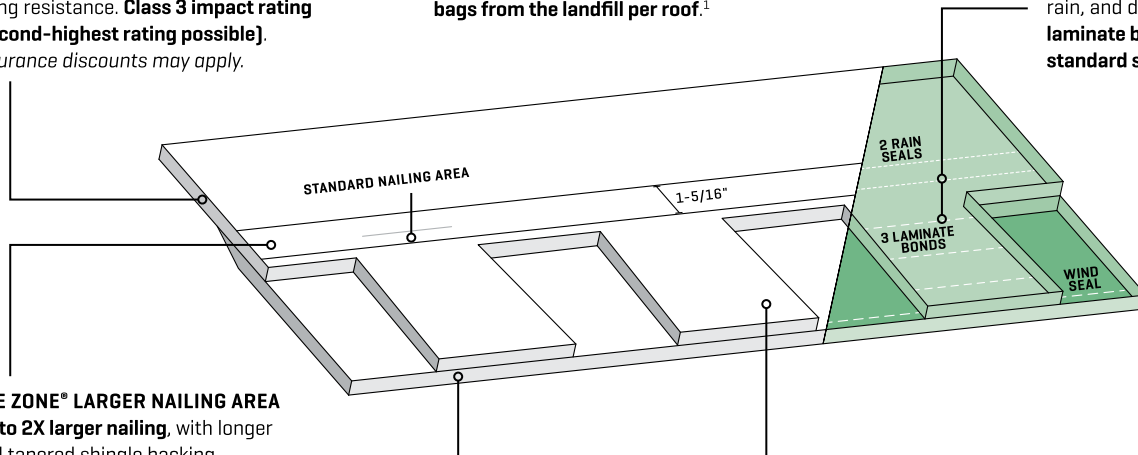
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Clean the air of emission pollutants. **Each roof has the smog-fighting potential of ~2 trees.**<sup>2</sup>

Malarkey Industry Firsts



Improving Our Climate  
**3M™ Smog-Reducing Granules**



MEETS CSA A123.5  
STANDARDS

<sup>1</sup> Assumes roof of 30 squares.

<sup>2</sup> Assumes roof of 30 squares. Source: Lawrence Berkeley National Laboratory and 3M.

**Test Compliance** – ASTM D7158 Class H, ASTM D3462, ASTM D3161 Class F, ASTM D3018 Type I, ASTM E108 Class A Fire Rating, UL 2218 Class 3, CSA A123.5, ICC Approval – ESR-3150, and ICC-ES AC438. CRRC-rated colors can be used to comply with California Energy Code (CEC) Title 24, Part 6 Cool Roof Requirements (Highlander® Golden Amber, Ivory Mist, Sienna Blend, and Silverwood only). Highlander® Golden Amber, Ivory Mist, Sienna Blend, and Silverwood shingles can also be used to comply with Los Angeles County, California Title 31 Cool Roof Requirements.

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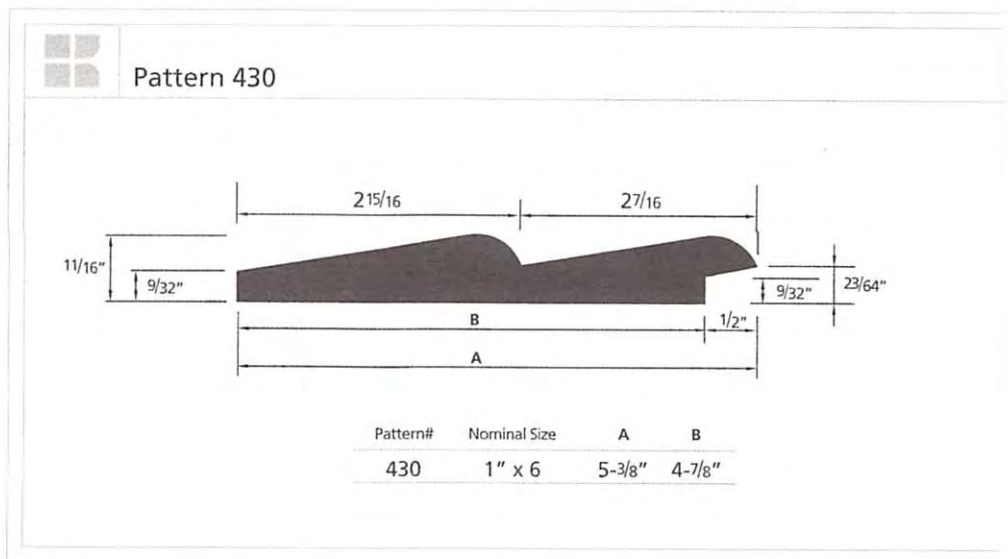
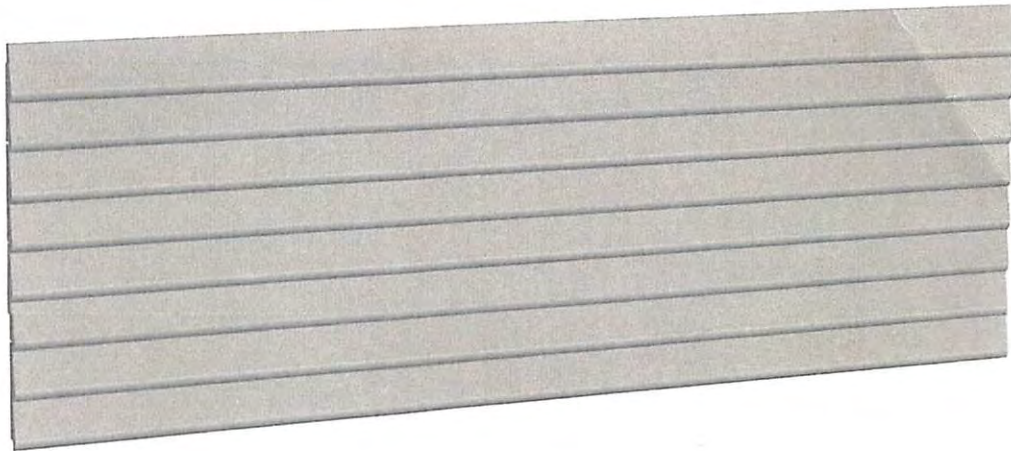
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GOULD  
EXTERIOR SIDING

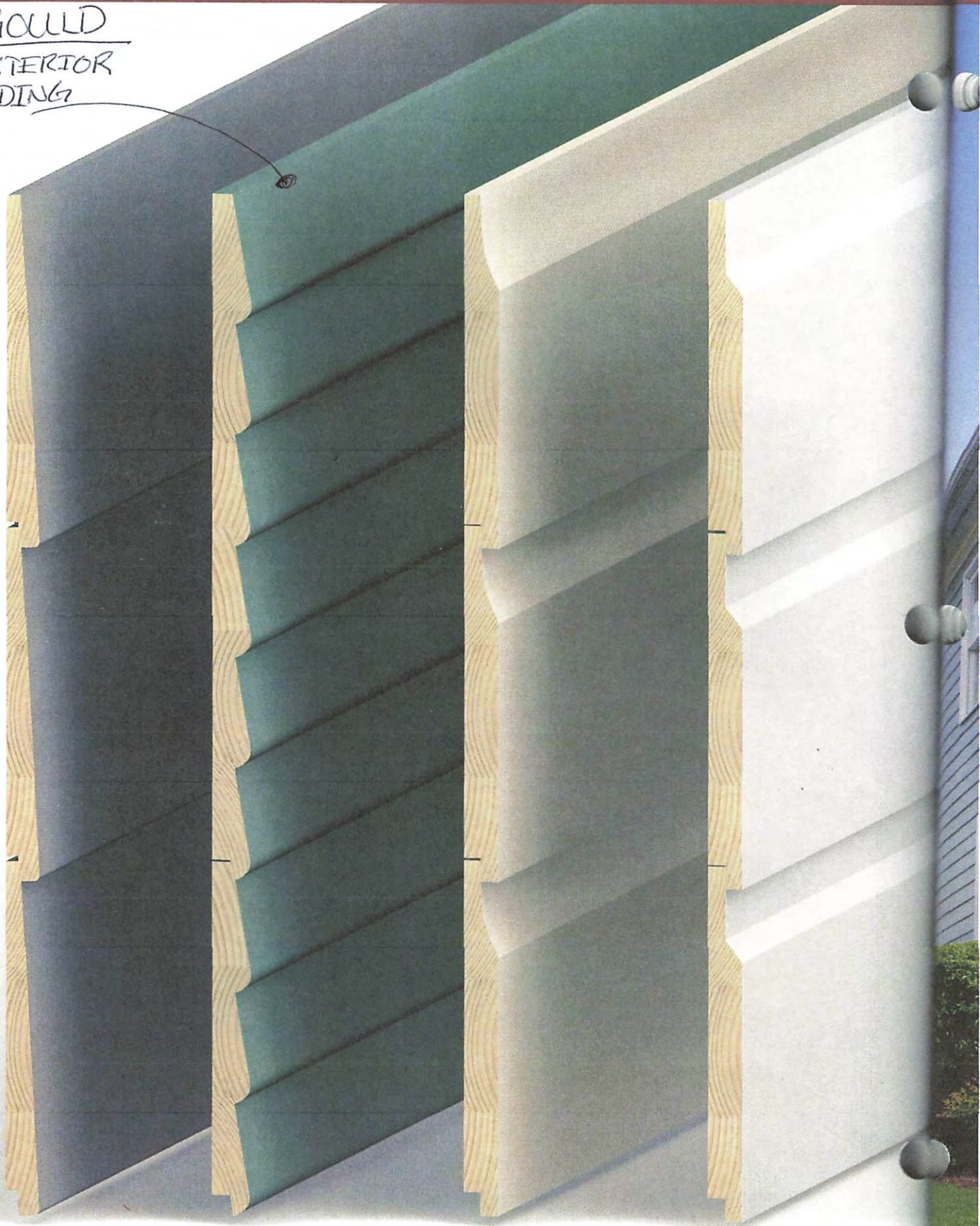
2 Lap Siding



Size	Pattern	SOLID AVG CEDAR	LOSP TREATED PRIMED	UNTREATED PRIMED	
		CEDAR AVG OLD GROWTH	ADVANTAGE PLUS™ TREATED PRIMED PINE	CEDAR AVG FINGERJOINT	ADVANTAGE™ PRIMED PINE
1 x 6	#430	R/L: 8'-20' N/A	16' 20' 2043224 2043226	16' 20' 7043224* 7043226*	16' 20' N/A N/A

\*Item stocked in Northern California - 2 week lead time

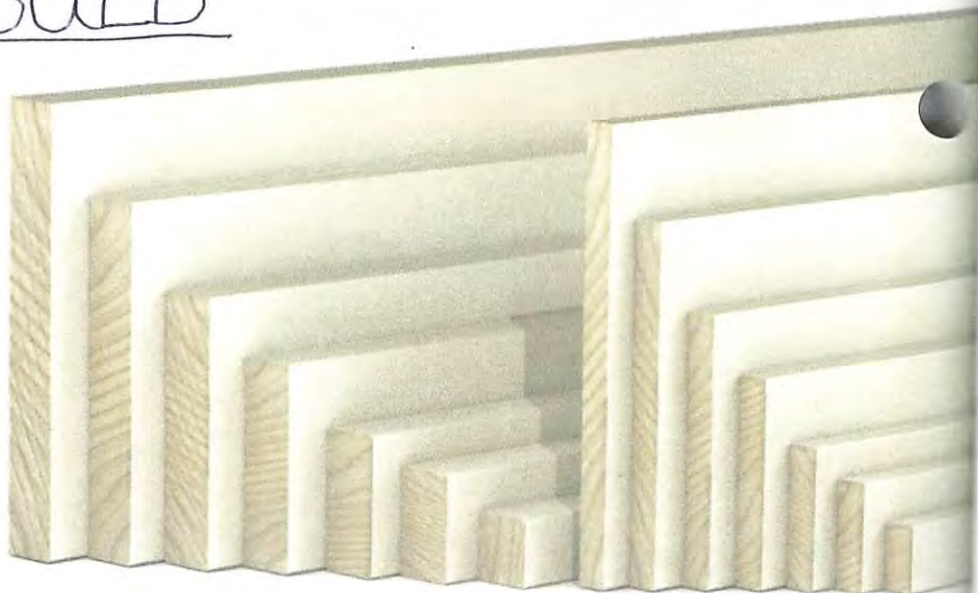
GOULD  
EXTERIOR  
SIDING



GOULD

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*EXTERIOR HOUSE TRIM, WINDOWS, DOORS, CORNERS, AND CORNICE.*

↑ ↑ ↑  
3 2 1


Size	SOLID AVG CEDAR	LOSP TREATED PRIMED		UNTREATED PRIMED			
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3	1 x 8 7 1/4"	140150*	2046785 2046786	7046785*	7046786*	046785	046786
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	1 x 12	140170*	2053115 2053116	7053115*	7053116*	053115	053116
	5/4 x 4	N/A	2067450 2067454	7067450*	7067454*	N/A	N/A
	5/4 x 6	N/A	2067451 2067455	7067451*	7067455*	N/A	N/A
	5/4 x 8	N/A	2067452 2067456	N/A	N/A	N/A	N/A
	2 x 2	140220*	2073350 N/A	N/A	7073351*	073350	N/A
	2 x 4	140230*	2073355 2073356	7073355*	7073356*	073355	073356
	2 x 6	140240*	2076335 2076336	7076335*	7076336*	076335	076336
	2 x 8	140250*	2079336 2079337	7079336*	7079337*	079336	079337
	2 x 10	140260*	2082347 2082348	7082347*	7082348*	082347	082348
	2 x 12 1 1/4"	140270*	2085295 2085296	7085295*	7085296*	085295	085296

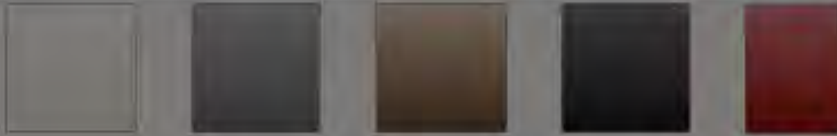
\*Item stocked in Northern California - 2 week lead time



# ColorSmart

Find, coordinate & visualize colors.

 View Brochure, Top Colors and more...



## SHOWING 1 OF 1 COLOR MATCHES



## COLOR DETAIL



## DARK EVERGLADE

 **HDC-CL-21A**

 **COLOR FADE PROTECTION**


**LRV 8**

**R 62**

**G 85**

**B 79**

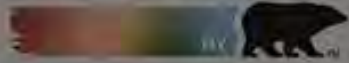
[VIEW MY SAVED COLORS](#)

 **SAVE TO MY COLORS**

 **VISUALIZE THIS COLOR**



# ColorSmart



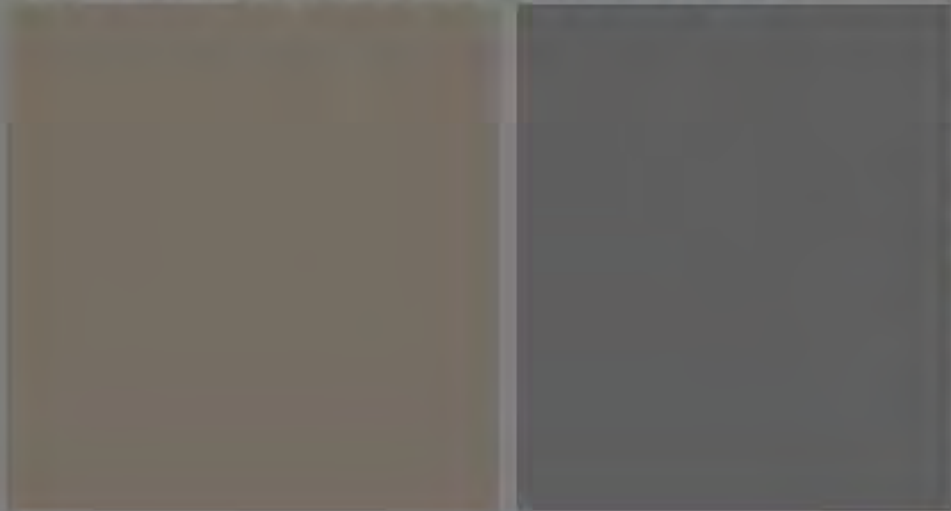
Find, coordinate & visualize colors.



View Brochure, Top Colors and more..



SHOWING 40 OF 86 COLOR MATCHES



## COLOR DETAIL



### ANTIQUE WHITE

23

COLOR FADE PROTECTION

LRV 73

R 232

G 221

B 202

[VIEW MY SAVED COLORS](#)

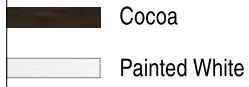
REMOVE FROM MY COLORS

VISUALIZE THIS COLOR

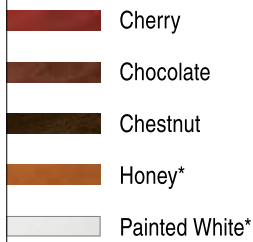
# CLEAR LITES

## Styles & Finishes

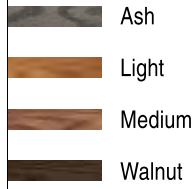
### TEAK



### MAHOGANY/ COTTAGE



### OAK



### SMOOTH



\*Cottage Mahogany only

All door heights shown 6'8" | Widths shown next to door

8'0" height options available, see pages 64-67

See page 4 for door finish and panel profile availability

- ▲ 7'0" height option available as 36" width door / 14" sidelite in Unfinished Oak
- Unfinished option also available: Ready to paint (Teak & Mahogany); Ready to stain or paint (Oak)
- ◆ Dentil shelf option available
- ✕ SDL options available, see pages 52-55
- ▲ IMPACT options available, see pages 60-63
- 34" Teak door available in Cocoa finish only
- All 34" width Mahogany doors available in Chestnut finish only
- All 34" width Oak doors available in Medium and Walnut finishes only

**CUSTOM PAINT OPTIONS**  
See page 5

Most doors and sidelites in the Clear Lite Collection are ENERGY STAR certified for all 50 states

## MINI BLINDS LOW-E

### MAHOGANY WOODGRAIN



Full Lite

### OAK WOODGRAIN



Full Lite



3/4 Lite



Half Lite



Half Lite

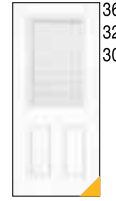


Full Lite

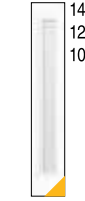
### SMOOTH ✕



Full Lite



Half Lite



Full Lite



Dual Function: -Raise/Lower & Tilt  
-Single Operator

## MAHOGANY CRAFTSMAN LOW-E

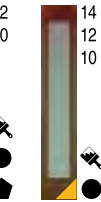
### MAHOGANY WOODGRAIN ✕



1-Lite



1-Lite



Full Lite

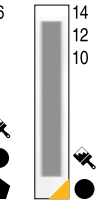


1-Lite

### COTTAGE MAHOGANY ✕



1-Lite



Full Lite

## MAHOGANY EXTERNAL GRILLE CRAFTSMAN\*\*

### MAHOGANY WOODGRAIN



6-Lite



3-Lite



2-Lite

### COTTAGE MAHOGANY



6-Lite



3-Lite



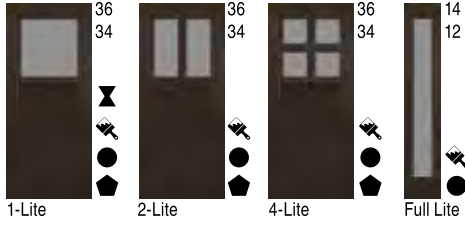
Grille Detail

Note: Bronze spacer and shadow bars will come standard on all doors with the 3-Lite or 6-Lite Grille profile along with the 2-Lite Sidelite.

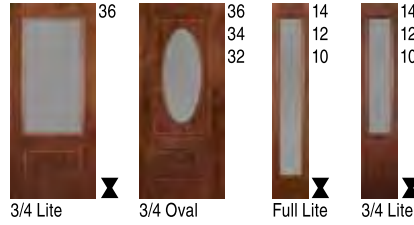
\*\*Glass is not Low-E

## CLEAR GLASS LOW-E

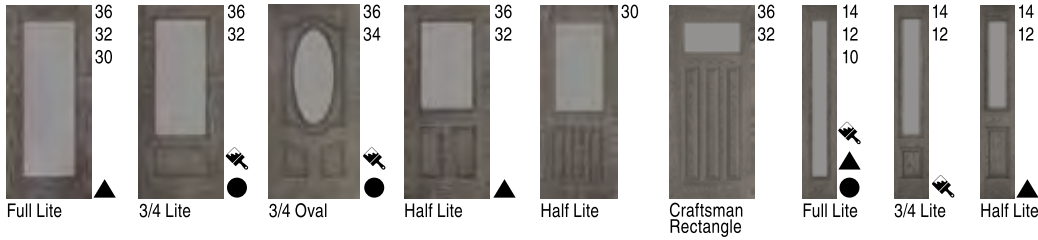
### TEAK WOODGRAIN - LIGHTHOUSE™



### MAHOGANY WOODGRAIN

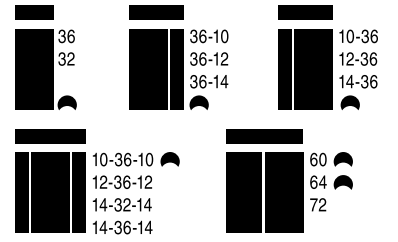


### OAK WOODGRAIN



### RECTANGULAR TRANSOMS

Height 12 & 14-3/4



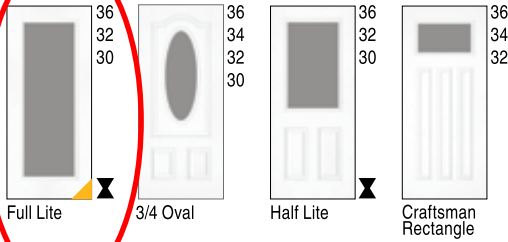
● 12 height only  
 ● 14-3/4 height unfinished PVC only

### ELLIPTICAL TRANSOMS

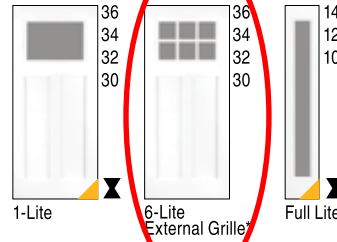
Height 14-3/4



### SMOOTH



### SMOOTH CRAFTSMAN

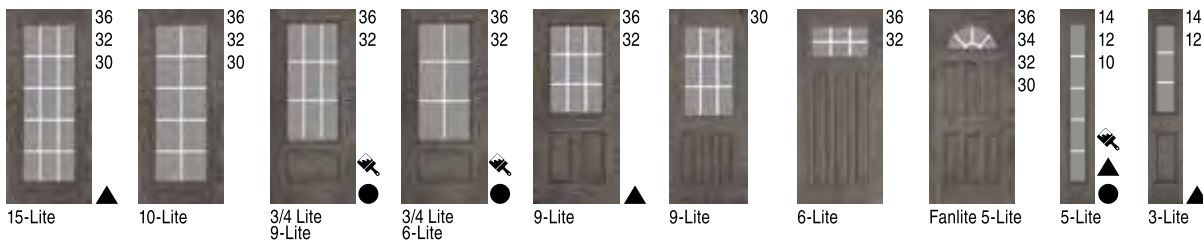


\*Glass is not Low-E

More Clear Glass options are available in our Metro™ Collection – See page 46

## INTERNAL GRILLE (GBG) LOW-E

### OAK WOODGRAIN



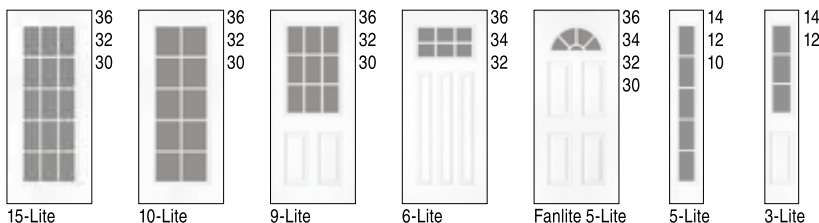
Contour Grille Only

### ELLIPTICAL TRANSOMS

Height 14-3/4

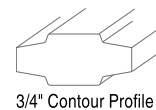


### SMOOTH



### GRILLE OPTIONS

White Internal Grille Only





## About This Product

Feather River Doors 6 Lite External Grille Clear Glass Craftsman is a Smooth Fiberglass Door Ready to Paint any color to match your home's decor. This classic design will provide instant curb appeal to any opening and has the true Craftsman look. The rich 2-Panel design with square profile is patterned off a true wood door design to give the door the warmth and feel of wood with the long lasting benefits of fiberglass. This door is true elegance. This door has all the long lasting benefits associated with fiberglass doors, a great look, along with a load of features and benefits usually viewed as upgrades with other doors plus energy efficient and ENERGY STAR qualified. Door specification: 36 in. x 80 in. prehung door, 4-9/16 in. primed jamb, right-hand inswing, fits rough opening of 38-1/4 in. x 82-1/8 in.

- Fiberglass construction resists denting, rusting and rotting for durability in the elements
- Polyurethane foam core provides energy-efficient insulation
- Composite adjustable threshold and compression weather-strip help to prevent air and water infiltration
- Sill-to-jamb kit and bottom door rail provide resistance to exterior jamb and door rot
- Matching sill and hinge finish add a stylish accent
- 6 lite external grille is double-pane glass is insulated and tempered for energy efficiency and security
- 2-panel embossment with traditional-panel design for that wood door look
- Ball-bearing hinges offer smooth operation and help to prevent door sagging and hinge wear
- Requires a 38-1/4 in. x 82-1/8 in. rough opening for a secure fit
- ENERGY STAR qualified to meet or exceed federal guidelines for energy efficiency for year-round energy and money savings
- From outside, open towards the inside of the home with the hinges on the right
- Limited lifetime warranty
- Includes brickmold
- [Speak to an Associate about Doors and Windows. Call 1-833-HDAPRON \(432-7766\) for free design, purchase and installation help daily from 9AM - 9PM EST.](#)
- [Click here to check out our project guide on installing an entry door](#)
- [Click here to learn more about buying exterior doors](#)
- [Click here to learn more about Eco Options and Energy Efficiency](#)
- [Return Policy](#)
- California residents [see Prop 65 WARNINGS](#)


Product ID #: 204487447

Internet #: 845779069670

Model #: GK3191

Live Chat

Feedback



Live Chat

Have a question?

Chat with a Home Depot expert.

[CHAT NOW](#)

## Additional Resources

[Shop All Feather River Doors](#)

### From the Manufacturer

- [Energy Guide](#)
- [Product Brochure](#)
- [Instructions / Assembly](#)
- [Warranty](#)
- [Installation Guide](#)
- [Use and Care Manual](#)
- [Return Policy](#)

# Contractor Collection

PREMIUM VINYL WINDOWS



NEW CONSTRUCTION



**IMPRESSIVE INSIDE & OUT**

# Designed to Perform.

The Contractor Collection offers a wide selection of window operating styles and sizes to meet your home's design and installation needs. These windows are expertly crafted to be durable, weather-resistant and energy-efficient, ensuring dependable performance for years to come.



## IMPACTFUL STYLE

Brighten and beautify your home—inside and out. Explore a wide range of styles, configurations, and colors to complement any architectural or interior design style.



## PREMIUM VINYL

Simonton vinyl is crafted with pride in the USA using high-quality raw materials for exceptional durability, thermal efficiency, and resistance to weather, insects, and decay.



## EXCEPTIONAL QUALITY

Simonton Contractor windows feature fusion-welded construction with multi-chambered frames to provide weathertight protection from the elements and durability.



## ENERGY EFFICIENCY

Simonton Contractor windows can be customized to meet ENERGY STAR® requirements in any region, offering superior thermal performance to maximize the interior comfort of your home.



## AAMA GOLD CERTIFICATION

The Contractor Collection has earned the AAMA Gold Label, signifying best-in-class durability, weather resistance, and energy efficiency. Learn more at [simonton.com/aama-gold](https://simonton.com/aama-gold).



## STRONG WARRANTY

We stand behind the quality and craftsmanship of our windows, offering a strong warranty on vinyl, hardware, screens and the insulating glass unit for added peace of mind. Learn more at [simonton.com/warranty](https://simonton.com/warranty)



## TRUSTED EXPERTISE

We are proud to embrace our legacy as an American manufacturer—and we continue to deliver on our reputation for innovation and authenticity built over 75 years in the business.



# Performance Features.

Quality matters when you're building a new home. And quality is what the Simonton Contractor Collection delivers. Each window is built to help protect homes from the elements, save energy and maintain interior comfort during any season.

## SIMONTON CONTRACTOR DOUBLE HUNG

### 1. FINISHED LOOK

Deluxe J-channel simplifies installation with vinyl siding.

### 2. EASY INSTALLATION

An integral nailing fin for quicker installation.

### 3. BUILT TO LAST

Robust, welded vinyl frame and sash provide both durability and ease of handling.

### 4. ATTRACTIVE DESIGN

Beveled exterior frame increases architectural character.

### 5. INCREASED COMFORT

Standard 3/4" insulating glass unit with ProSolar® Low-E glass, Argon gas and Intercept® spacer system enhance energy efficiency.

### 6. EASY ACCESS

Flush-mount tilt latches release the sash to tilt in for simple in-home cleaning.

### 7. WEATHER RESISTANT

An overlapping, interlocking meeting rail guards against weather infiltration.

### 8. MAINTAINS BEAUTY

Extruded vinyl resists chipping, flaking and pitting and retains its looks with virtually no maintenance.

### 9. SMOOTH OPERATION

1/2" stainless steel coil spring balance system keeps window sash in any desired position (Double Hung, Single Hung only).

### 10. DEPENDABLE PERFORMANCE

The pivot alignment system keeps the frame and sash in precise alignment, improving squareness and operation. (Double Hung, Single Hung only).

### 11. DURABLE CONSTRUCTION

Triple-chambered compound-cut sill helps prevent bowing.

### 12. WATER BARRIER

10-degree sloped sill moves rainwater away from the home.





**DOUBLE HUNG WINDOWS**  
 White vinyl with color-matched hardware  
 and flat grilles in a Diamond pattern.



Nailing Fin & J-channel



Nailing Fin Only

### Flexible Installation

Contractor windows have an integral J-channel and nail fin for new construction applications but can be ordered to accommodate replacement installations.

# A Window Style for Every Home.

Consider your home's architectural and interior design when selecting a window style. Choose from a variety of shapes and unique operating styles that will complement your home inside and out while delivering dependable functionality and performance.



## DOUBLE HUNG

Double Hung windows provide a timeless and classical aesthetic. The top and bottom sash slide vertically and tilt in for easy cleaning from inside the home.



## SINGLE HUNG

Single Hung windows provide a classic, streamlined appearance. The bottom sash slides vertically and tilts in for easy cleaning from inside the home.



## SLIDING

Sliding windows glide horizontally to increase ventilation. Available in 2- or 3-lite configurations. 3-lite Sliders have a fixed center window with operable end vents.



## CASEMENT

Casements offer maximum ventilation and are the most energy-efficient windows available. The crank-operated hinged sash opens easily outward and can be cleaned from inside when fully opened.



## AWNING

Awning windows are hinged at the top and open outward. Turn the crank handle and enjoy fresh air, even when it's raining.



## PICTURE

Offering an expansive, unobstructed view, a Picture window is one of the most weather-resistant styles available and is fixed—with no movable sash. They are ideal for large or small areas where daylight is desired.



**PICTURE WINDOWS**  
Driftwood vinyl with 3/4" Contoured grilles in a Colonial pattern.



**SPECIALTY SHAPES**

Available in a variety of circular, arched and linear designs—Specialty windows provide a unique, custom look that complements both contemporary and traditional homes



**OPERABLE SPECIALTY SHAPES**

Single hung functionality combined with circular, arched and linear designs, Operable Specialty Shape windows provide a unique, custom look that highlights both contemporary and traditional homes.



**COMBINATION WINDOWS**

Select Contractor windows can be mullled (or joined) together into a single unit. A mullled window combines matching or contrasting window styles to create a single weathertight unit that provides a truly custom aesthetic and allows more natural light into your home.

# Energy Efficiency, Savings & Comfort.

Simonton Contractor windows deliver exceptional energy efficiency and thermal performance to help reduce your heating and cooling costs and provide consistent interior comfort. Additional glass options are available to enhance safety, privacy and fade protection.

## SPECIALTY SHAPED & PICTURE WINDOW

White vinyl with color-matched 3/4" Contoured grilles in a Sunburst pattern.



## PROSOLAR LOW-E GLASS



- ✓ Standard **ProSolar® Low-E Glass** helps keep warm air in during the winter months. In summer, it helps deflect external heat and retains cooled air.



- ⊕ **ProSolar® Shade Low-E Glass** offers superior solar control and insulating performance, making it ideal for warmer climates with more intensive interior cooling needs.



- ⊕ **ProSolar® Sun Low-E Glass** lets in the sun's warming rays while blocking external heat loss, helping to keep homes warm in cooler climates that require more energy to heat.



## DOUBLE HUNG, PICTURE & SPECIALTY SHAPED WINDOWS

White vinyl with color-matched 3/4" Contoured grilles in a Colonial pattern.



### SPACER SYSTEMS

Glass panes are separated by a spacer system that helps seal in functional gases and create an airtight seal.

- ✓ The standard **Intercept®** spacer system helps keep glass warm and expands and contracts for reduced seal failure.
- ⊕ The **Supercept™** spacer system utilizes a stainless steel alloy that offers increased durability and thermal efficiency.
- ⊕ The non-metallic foam **Super Spacer®** is non-conductive and virtually eliminates temperature transfer.



### GAS FILL

- ✓ Standard **Argon gas** (six times denser than air) is sealed between the glass panes to increase insulation and reduce energy loss.
- ⊕ Upgrade to **Krypton gas** (twelve times denser than air) for maximum thermal efficiency.

### KEY

- ✓ – Standard    ⊕ – Optional



### ⊕ DOUBLE-STRENGTH GLASS

Thick, double-strength glass is break-resistant and offers increased sound control.



### ⊕ SAFETY GLASS

Heat-strengthened tempered glass is stronger than regular glass and safely breaks down into pebbles if broken. Tempered glass is often a building code requirement for use in bathrooms and windows near the floor.



### ⊕ OBSCURED GLASS

Obscured glass has a textured pattern to maximize privacy while still allowing ample natural light into your home.



### ⊕ TINTED GLASS

Bronze or gray tinted glass helps control solar heat gain and reduce glare and visibility into your home.



### ⊕ ENERGY STAR®

Simonton offers optional region-specific ENERGY STAR glass packages designed to deliver optimal energy performance and comfort in any climate.



# Select Your Design Options.

Bring your vision to life with a variety of colors and hardware options to complete the aesthetic of your home. Contractor windows are built with virtually maintenance-free vinyl that retains its beauty throughout the years.

## INTERIOR/EXTERIOR VINYL COLORS



White



Tan

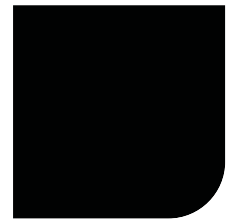


Driftwood

## CUSTOM EXTERIOR FINISHES



Bronze



Black

## HARDWARE FINISHES

### CAM LOCKS

Available on Double Hung, Single Hung and Sliding windows, cam locks pull your window frame and sash together for increased security and weather resistance.



White



Tan



Driftwood



Brass

### NESTING CRANK HANDLE

Casement and Awning windows feature a convenient nesting handle that folds neatly away into the base and doesn't interfere with blinds or shades.



White



Tan



Driftwood



Brass



### SAFETY & SECURITY

Available on hung and sliding windows, the Window Opening Control Device (WOCD) is a self-activating vent latch that limits the extent a window can be opened. It helps increase safety against accidental falls while allowing safe egress in an emergency.

Due to limitations in the printing process, actual colors may vary from printed materials. Please see a sample of the product before making your final color selection.

Attachment E -  
Historic Inventory Sheet

HISTORIC RESOURCES INVENTORY

(State use only)  
 Ser \_\_\_\_\_ Site \_\_\_\_\_ Mo. \_\_\_\_\_ Yr. \_\_\_\_\_  
 UTM \_\_\_\_\_ Q \_\_\_\_\_ NR \_\_\_\_\_ SHL \_\_\_\_\_  
 Lat \_\_\_\_\_ Lon \_\_\_\_\_ Era \_\_\_\_\_ Sig \_\_\_\_\_  
 Adm \_\_\_\_\_ T2 \_\_\_\_\_ T3 \_\_\_\_\_ Cat \_\_\_\_\_ HABS \_\_\_\_\_ HAER \_\_\_\_\_ Fed \_\_\_\_\_  
 UTM 11/483370/3767490

IDENTIFICATION

- Common name: \_\_\_\_\_
- Historic name, if known: \_\_\_\_\_
- Street or rural address 420 Eureka  
 City: Redlands ZIP: 92373 County: San Bernardino
- Present owner, if known: \_\_\_\_\_ Address: \_\_\_\_\_  
 City: \_\_\_\_\_ ZIP: \_\_\_\_\_ Ownership is: Public  Private
- Present Use: Residence Original Use: Residence  
 Other past uses: \_\_\_\_\_

DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

1 story white; center gable; overlapping clapboard; open veranda with square columns; no railing on straight stairs; windows are single sash with plain molding and lugsills; 1 chimney; roof trim is plain boxed cornice-2 braces at corners of gable; end boards at corners; asphalt shingles on roof.

7. Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):



8. Approximate property size:

Lot size (in feet) Frontage 60  
 Depth 120  
 or approx. acreage \_\_\_\_\_

9. Condition: (check one)

Excellent  b. Good  c. Fair

Deteriorated  e. No longer in existence

Is the feature a. Altered?  b. Unaltered?

Surroundings: (Check more than one if necessary)

a. Open land  b. Scattered buildings

c. Densely built-up  d. Residential

e. Commercial  f. Industrial

g. Other  \_\_\_\_\_

Threats to site:

a. None known  b. Private development

c. Zoning  d. Public Works project

e. Vandalism  f. Other  \_\_\_\_\_

Date(s) of enclosed photograph(s): June 1978



NOTE: The following (Items 14-19) are for structures only.

14. Primary exterior building material: a. Stone  b. Brick  c. Stucco  d. Adobe  e. Wood   
f. Other
15. Is the structure: a. On its original site?  b. Moved?  c. Unknown?
16. Year of initial construction c. 1925 This date is: a. Factual  b. Estimated
17. Architect (if known): \_\_\_\_\_
18. Builder (if known): \_\_\_\_\_
19. Related features: a. Barn  b. Carriage house  c. Outhouse  d. Shed(s)  e. Formal garden(s)   
f. Windmill  g. Watertower/tankhouse  h. Other  i. None

#### SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):

This home is one of several structures that are to be considered part of an historical district. At the request of the Office of Historic Preservation, the Redlands survey team gathered these houses together and surveyed them as potential district nominees. Individually they do not necessarily represent the cream of Redlands structures but together they are excellent examples of late-19th early-20th century life-styles and architectural style.

21. Main theme of the historic resource: (Check only one): a. Architecture  b. Arts & Leisure   
c. Economic/Industrial  d. Exploration/Settlement  e. Government  f. Military   
g. Religion  h. Social/Education

22. Sources: List books, documents, surveys, personal interviews, and their dates:

Redlands Daily Facts; water hookup dates; City Hall

23. Date form prepared: 4/12/78 By (name): Jim Hofer  
Address: 125 W. Vine Street City REdlands ZIP: 92373  
Phone: 714-793-2201 Organization: City of Redlands/A.K. Smiley Public Library

(State Use Only)

Attachment F -

Resolution No. 2024-03

RESOLUTION NO. 2024-03

A RESOLUTION OF THE HISTORIC AND SCENIC PRESERVATION COMMISSION OF THE CITY OF REDLANDS APPROVING CERTIFICATE OF APPROPRIATENESS NO. 686 FOR THE CONSTRUCTION OF A 277 SQUARE-FOOT MAIN BEDROOM EXTENSION INCLUDING A NEW WALK-IN CLOSET AND BATHROOM, A 46 SQUARE-FOOT UTILITY ROOM EXTENSION WITH A 72 SQUARE-FOOT REMODEL, A 32 SQUARE-FOOT SOLID COVERED PORCH, A 28 SQUARE-FOOT SOLID COVERED PORCH, AND A 77 SQUARE-FOOT LATTICE COVERED PORCH LOCATED AT 420 SOUTH EUREKA.

WHEREAS, Jeffrey Gould (“Applicant”), has submitted an application for Certificate of Appropriateness No. 686 to construct a 277 square-foot main bedroom extension including a new walk-in closet and bathroom, a 46 square-foot utility room extension with a 72 square-foot remodel, a 32 square-foot solid covered porch, a 28 square-foot solid covered porch, and a 77 square-foot lattice covered porch. The project site is located at 420 South Eureka (APN: 0173-032-07-0000) in the Multiple-Family Residential (R-2) District and the Smiley Park Neighborhood Historic & Scenic District (Historic District No. 8); and

WHEREAS, notice of this Historic and Scenic Preservation Commission public hearing for the Project was duly published in the Redlands Daily Facts by the Secretary to the Historic and Scenic Preservation Commission; and

WHEREAS, on March 7, 2024, the Historic and Scenic Preservation Commission held a public hearing and considered the staff report, oral report, the testimony and the written evidence submitted by and on behalf of the applicant and by members of the public; and

WHEREAS, the proposed project is exempt from environmental review in accordance with Section 15331 (Historic Resource Restoration/Rehabilitation), Section 15303 (New Construction or Conversion of Small Structures), and Section 15301 (Existing Facilities) of the CEQA Guidelines, as there is no substantial evidence of any potentially significant environmental impacts and the project qualifies for this exemption.

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC AND SCENIC PRESERVATION COMMISSION OF THE CITY OF REDLANDS AS FOLLOWS:

Section 1. The proposed scope of work for Certificate of Appropriateness No. 686 is consistent with the applicable Secretary of the Interior’s Standards and the city’s local Historic & Scenic Preservation Manual.

Section 2. The proposed project is exempt from environmental review in accordance with Section 15331 (Historic Resource Restoration/Rehabilitation), Section 15303 (New Construction or Conversion of Small Structures), and Section 15301 (Existing Facilities) of the CEQA Guidelines and there is no substantial evidence of any potentially significant environmental impacts to the historic property.

Section 3. The application for Certificate of Appropriateness No. 686 is hereby approved subject to the conditions of approval contained in Exhibit “A” attached to this Resolution.

Section 4. This Resolution shall become effective upon adoption. If no appeal is filed within ten days (by March 18, 2024) in accordance with the Redlands Municipal Code, then the decision shall become final on March 19, 2024.

ADOPTED, SIGNED AND APPROVED this 7th day of March, 2024.

---

Kurt Heidelberg, Chair, Historic and Scenic  
Preservation Commission

ATTEST:

---

Linda McCasland, Secretary

I, Linda McCasland, Historic and Scenic Preservation Commission Secretary of the City of Redlands, hereby certify that the foregoing resolution was duly adopted by the Historic and Scenic Preservation Commission at a regular meeting thereof held on the 7th day of March, 2024, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAINED:

---

Linda McCasland, Secretary, Historic  
and Scenic Preservation Commission



**EXHIBIT A**  
**CONDITIONS OF APPROVAL**  
**CERTIFICATE OF APPROPRIATENESS NO. 686**

1. This approval is for Certificate of Appropriateness No. 686 to construct to construct a 277 square-foot main bedroom extension including a new walk-in closet and bathroom, a 46 square-foot utility room extension with a 72 square-foot remodel, a 32 square-foot solid covered porch, a 28 square-foot solid covered porch, and a 77 square-foot lattice covered porch. The project site is located at 420 South Eureka (APN: 0173-032-07-0000) in the Multiple-Family Residential (R-2) District and the Smiley Park Neighborhood Historic & Scenic District (Historic District No. 8).
2. This permit is granted for the plans dated February 9, 2024, (“the plans”) on file with the Planning Division. The project shall conform to the plans, except as otherwise specified in these conditions. The Development Services Director is authorized to approve minor modifications to the approved project plans or any of the conditions of approval if such modifications shall achieve substantially the same results as would strict compliance with said plans and conditions.
3. Unless construction has commenced pursuant to a building permit, this permit/approval shall expire in eighteen (18) months from the approval date. This permit/approval can be extended by staff per Section 2.62.200(K) for a period not to exceed thirty-six (36) months.
4. Prior to beginning any construction and/or demolition activities, a building permit(s) shall be obtained from the Building & Safety Division for the proposed scope of work.
5. The applicant shall not make any modifications or changes during construction that are in conflict or contrary to the project’s approved site design or building elevations without first consulting the Development Services Director or designee. The applicant may install wood materials to cover any exposed vinyl exterior siding, trim, or doorway materials.
6. The Development Services director is authorized to approve minor modifications to the approved project plans or any of the conditions of approval if such modifications shall achieve substantially the same results as would strict compliance with said plans and conditions.
7. The issuance of any permits shall comply with all applicable provisions of the Redlands Municipal Code.
8. The property owner shall be responsible for installing and maintaining a wooden frame against the vinyl windows to conceal the vinyl material, prior to final sign-off of the building permit. Other exterior trim materials not covered in wood shall be painted a non-glossy color and maintained to mitigate/eliminate any appearance of exposed vinyl material.

9. The applicant for this permit, and its successors and assigns, shall defend, indemnify and hold harmless the City of Redlands, and its elected officials, officers, agents and employees, from and against any and all claims, actions, and proceedings to attack, set aside, void or annul the approval of this permit by the City, or brought against the City due to acts or omissions in any way connected to the applicant's project that is the subject of this permit. This indemnification shall include, but not be limited to, damages, fees, costs, liabilities, and expenses incurred in such actions or proceedings, including damages for the injury to property or persons, including death of a person, and any award of attorneys' fees. In the event any such action is commenced to attack, set aside, void or annul all, or any, provisions of this permit, or is commenced for any other reason against the City for acts or omissions relating to the applicant's project, within fourteen (14) City business days of the same, the applicant shall file with the City a performance bond or irrevocable letter of credit (together, the "Security") in a form and in an amount satisfactory to the City, to ensure applicant's performance of its defense and indemnity obligations under this condition. The failure of the applicant to provide the Security shall be deemed an express acknowledgement and agreement by the applicant that the City shall have the authority and right, without objection by the applicant, to revoke all entitlements granted for the project pursuant to this permit. The City shall have no liability to the applicant for the exercise of City's right to revoke this permit.

---

Brian Foote, City Planner/Planning Manager  
Historic Preservation Officer